

DEFINITIVE SITE PLAN  
CLUSTER GROUP OF SINGLE FAMILY DWELLINGS  
AT  
47R FOURTH STREET  
WORCESTER, MASSACHUSETTS 01602

RECORD APPLICANT:  
DANIEL YARNIE  
37 WEST MILLBURY ROAD  
SUTTON, MA 01590

RECORD OWNER:  
DANIEL YARNIE  
37 WEST MILLBURY ROAD  
SUTTON, MA 01590

LAND PLANNERS—CIVIL ENGINEERS:  
J.M. GRENIER ASSOCIATES INC.  
325 DONALD LYNCH BOULEVARD SUITE 100  
MARLBOROUGH, MA 01752  
(508) 845-2500

LAND SURVEYORS:  
ROBERT D. O'NEIL JR.  
66 DRURY LANE  
WORCESTER, MA 01607

ZONING DISTRICT: RESIDENCE, LIMITED (RL-7)



LOCUS:  
SCALE: 1' = 100'

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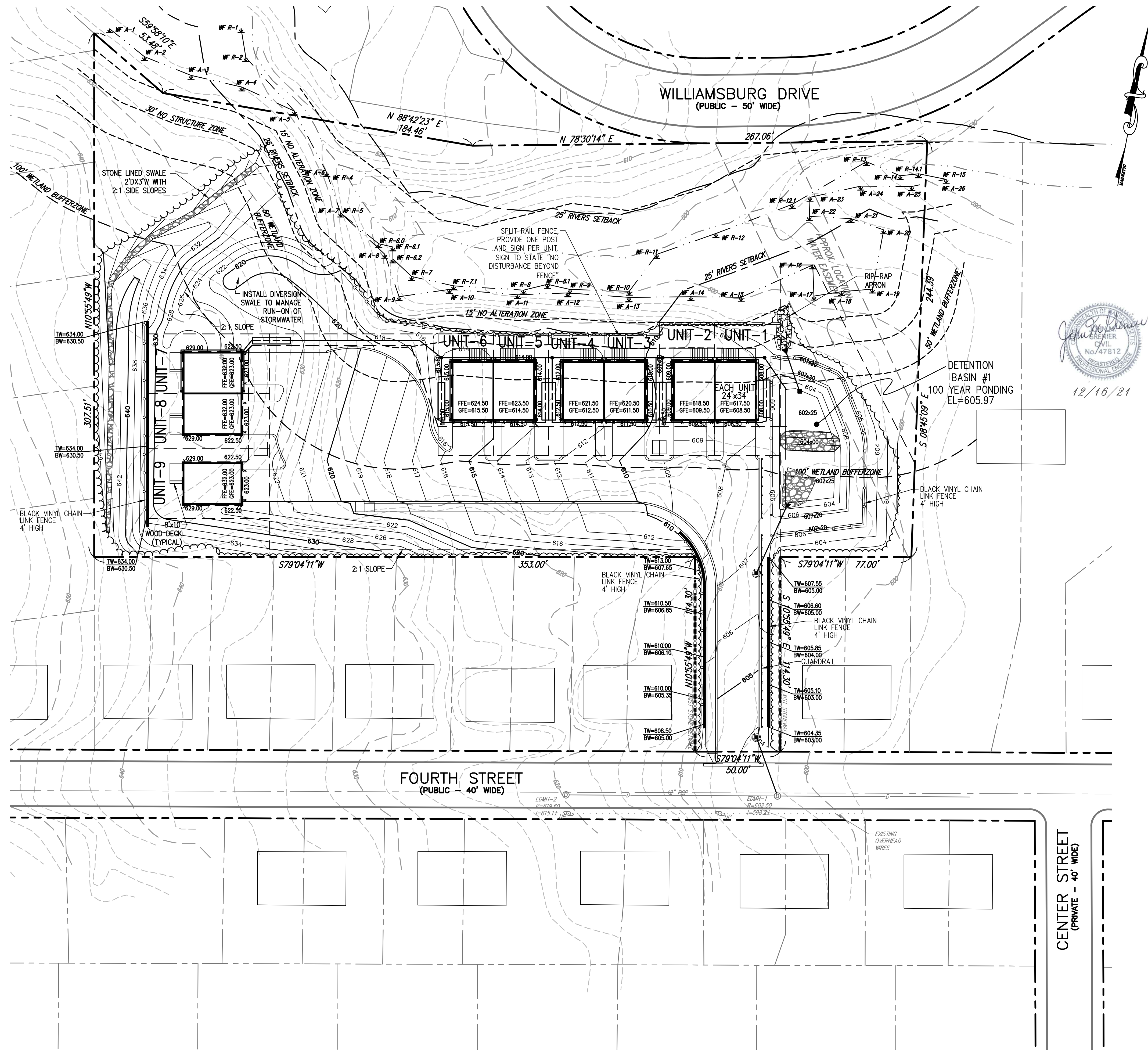
1	12/16/21	REVISE TURNAROUND
REV. NO.	DATE	REVISION
SCALE:	AS SHOWN	DATE: OCTOBER 22, 2021
COVER SHEET		
SHEET NO.:	PROJECT NO.:	
SHEET 1 OF 11	G-636	



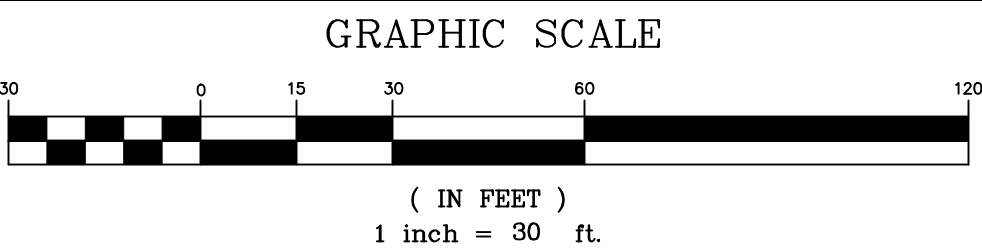








- LEGEND:**
- EXISTING PROPERTY LINE
  - EXISTING EASEMENT LINE
  - EXISTING CONTOUR - HIGH
  - EXISTING CONTOUR - LOW
  - PROPOSED CONTOUR - HIGH
  - PROPOSED CONTOUR - LOW
  - EDGE WATER
  - EDGE VEGETATED WETLANDS
  - WETLAND BUFFER
  - RIPARIAN ZONE
  - EXISTING EDGE PAVEMENT
  - EXISTING CURB
  - PROPOSED EDGE OF PAVEMENT
  - PROPOSED CURB
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  - PROPOSED UNDERGROUND ELECTRIC
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  - PROPOSED EROSION CONTROL



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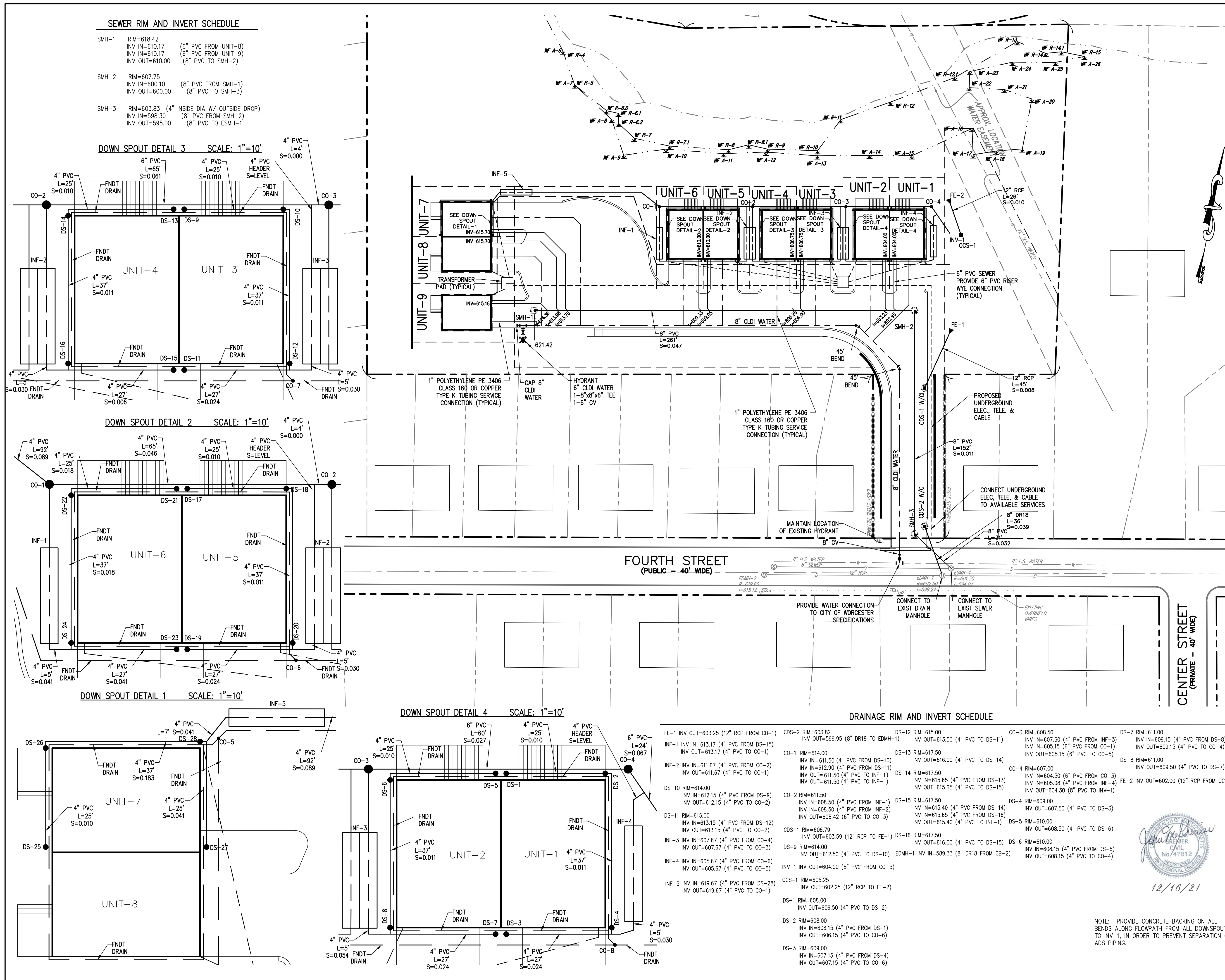
TELE. NO.: (508) 845-2500

<b>SCALE:</b>	<b>DATE:</b>
1" = 30'	OCTOBER 22, 2021

**GRADING AND DRAINAGE PLAN**

<b>SHEET NO.:</b>	<b>PROJECT NO.:</b>
SHEET 4 OF 11	G-636

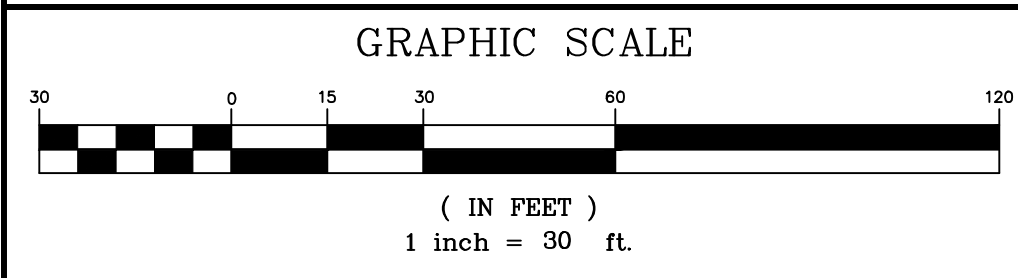




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- NOTES:**
- ALL TRENCHES WITHIN FOURTH STREET SHALL BE BACKFILLED AS REQUIRED BY THE CITY OF WORCESTER.
  - EXISTING CATCH BASINS WITHIN 100' OF THE PROPERTY MUST BE PROTECTED WITH INLET PROTECTION AT ALL TIMES UNTIL THE SITE IS FULLY STABILIZED.
  - SEWER SHALL BE INSTALLED WITH A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM ALL WATER SUPPLY LINES. WHEN A 10 FOOT SEPARATION CANNOT BE MAINTAINED THE WATER MAIN SHALL BE INSTALLED IN A SEPARATE TRENCH ABOVE THE SEWER WITH AN 18 INCH VERTICAL SEPARATION BETWEEN THE CROWN OF THE SEWER AND THE INVERT OF THE WATER MAIN. ADEQUATE VERTICAL SEPARATION OF WATER/SEWER CROSSING SHALL BE CONFIRMED.
  - SIZE OF FIRE SERVICE LINE TO BE DETERMINED BY FIRE FLOW REQUIREMENTS.
  - DOMESTIC WATER LINE SHALL BE SLEEVED UNDER FOOTING WITH 2" MINIMUM DIAMETER CONDUIT.
  - CONTRACTOR SHALL CONTACT DIG SAFE AT 1-888-344-7233 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION.
  - CONTRACTOR SHALL FIELD VERIFY DIMENSIONS AND CONDITIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
  - SHOULD FIELD CONDITIONS VARY FROM THOSE SHOWN, ENGINEER SHALL BE CONTACTED PRIOR TO COMMENCEMENT OF SITE CONSTRUCTION.
  - EXTERIOR MATERIALS ARE TO BE VINYL SIDING WITH ASPHALT ROOF SHINGLES.



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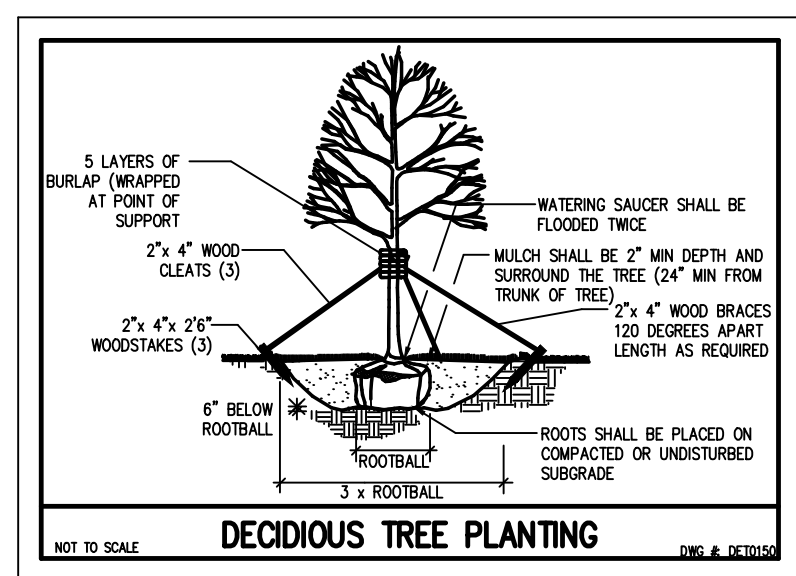
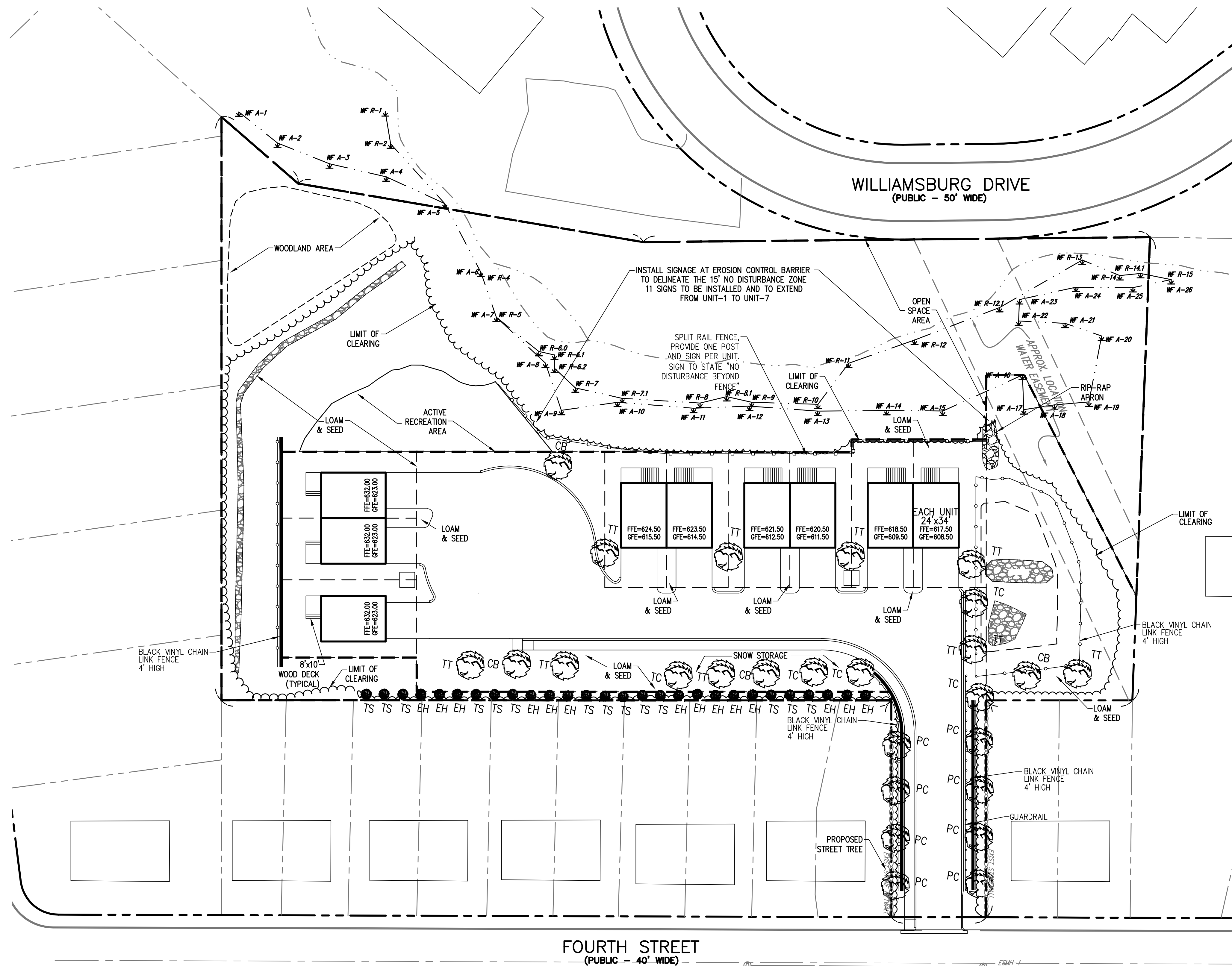
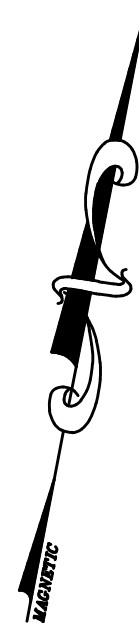
**UTILITY PLAN**

**SHEET NO.:** SHEET 5 OF 11  
**PROJECT NO.:** G-636



NOTE: PROVIDE CONCRETE BACKING ON ALL BENDS ALONG FLOWPATH FROM ALL DOWNSPOUTS TO INV-1, IN ORDER TO PREVENT SEPARATION OF ADS PIPING.





PROPOSED TREE LIST					
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
TT	9	TILIA TOMENTOSA	SILVER LINDEN	3" to 3-1/2" DIA.	B&B
CB	5	CARPINUS BETULUS	EUROPEAN HORNBEAM	3" to 3-1/2" DIA.	B&B
TC	5	TILIA CORDATA	GREENSPIRE LINDEN	3" to 3-1/2" DIA.	B&B
PC	8	PYRUS CALLERYANA 'CLEVELAND SELECT'	CLEVELAND PEAR	3" to 3-1/2" DIA.	B&B

PROPOSED SHRUB SCREENING					
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT	NOTES
EH	14	TSUGA CANADENSIS	EASTERN HEMLOCK	7 FEET	B&B
TS	14	THUJA STANDISHII X Plicata	THUJA GREEN GIANT	7 FEET	B&B

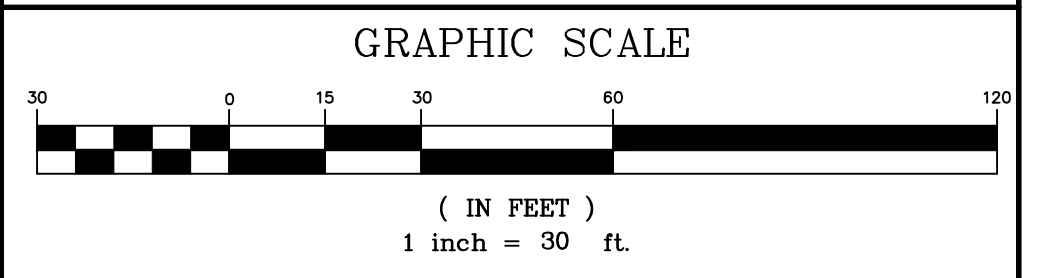
NOTES:

NO TREES IN EXCESS OF NINE (9) INCHES IN DIAMETER EXISTS WITHIN THE LIMIT OF SITEWORK, AS CONFIRMED BY A SITE WALK PERFORMED ON 3/23/06.

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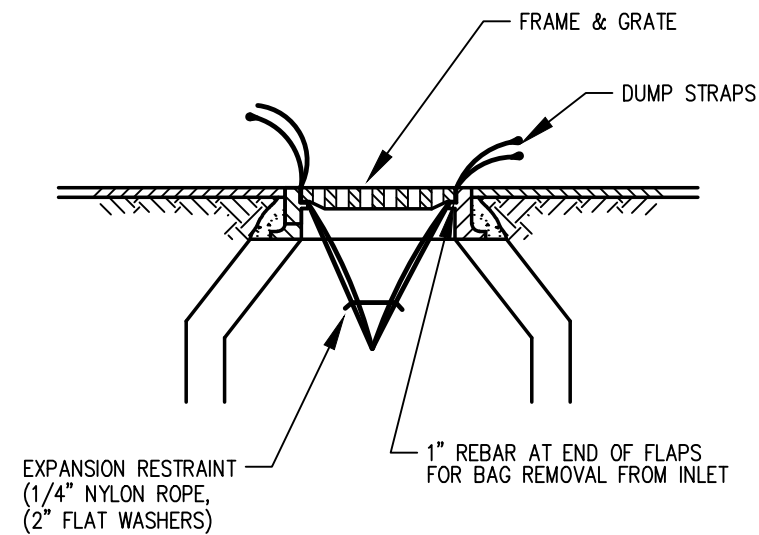
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LANDSCAPE PLAN

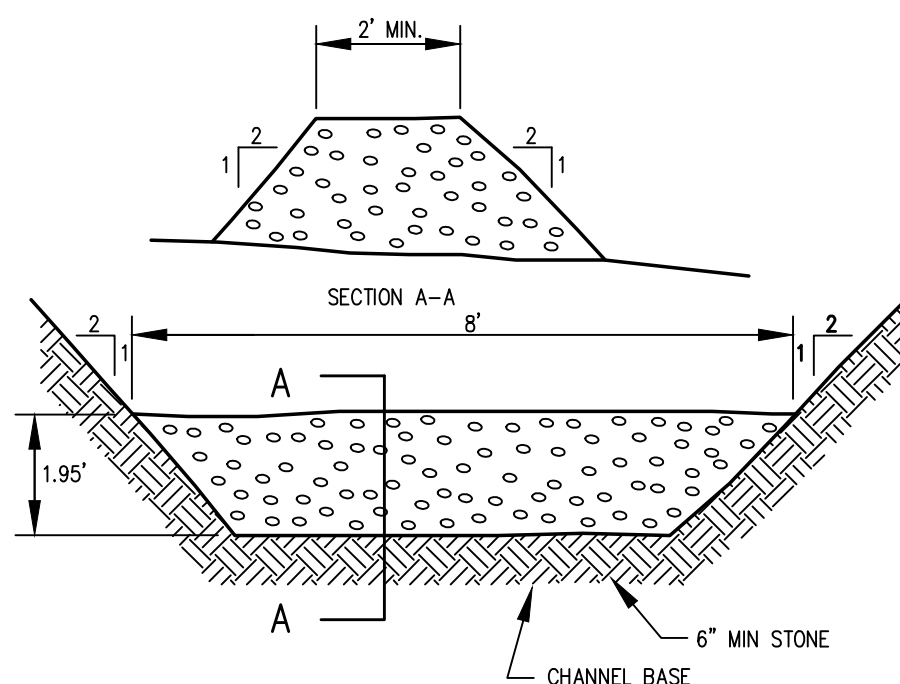
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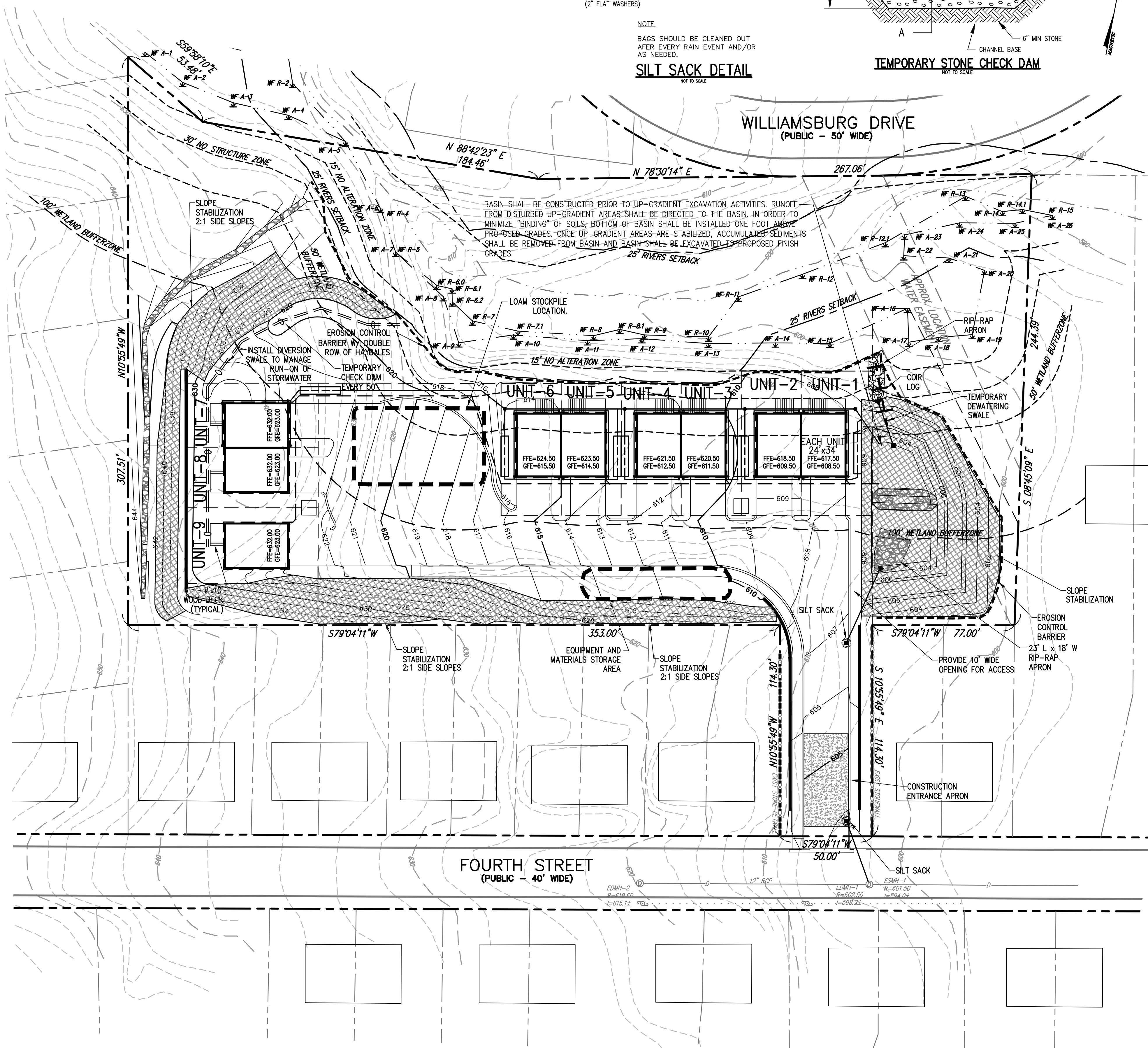


NOTE:  
BAGS SHOULD BE CLEANED OUT AFTER EVERY RAIN EVENT AND/OR AS NEEDED.  
**SILT SACK DETAIL**  
NOT TO SCALE



**TEMPORARY STONE CHECK DAM**  
NOT TO SCALE

WILLIAMSBURG DRIVE  
(PUBLIC - 50' WIDE)



**WETLAND RESOURCE BOUNDARY DELINEATION**

1. WETLAND RESOURCE AREAS SHOWN WERE DELINEATED BY EBT ENVIRONMENTAL JUNE 2017. THE WETLAND RESOURCE AREAS WERE REVIEWED AND CONFIRMED IN FIELD BY WORCESTER CONSERVATION COMMISSION IN JULY 2017.  
**RESPONSIBILITIES OF OWNER/PERMITEE**

THE OWNER/PERMITEE SHALL:

- PROVIDE THE CONTRACTOR WITH COPIES OF LAND-USE PERMITS THAT OWNER HAS ACQUIRED.
- INFORM ALL PARTIES INVOLVED WITH THE PROPOSED SITE WORK OF THIS PLAN'S OBJECTIVES AND REQUIREMENTS.

**RESPONSIBILITIES OF CONTRACTOR**

THE CONTRACTOR IS RESPONSIBLE FOR PREVENTING EROSION OF THE SITE AND FOR PROTECTING ADJACENT STORM SEWERS AND WATERWAYS FROM SEDIMENTATION.

THE CONTRACTOR SHALL:

- INSTALL, MONITOR, AND MAINTAIN ALL OF THE SOIL EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THIS PLAN.
- COMPLY WITH ALL PERMIT REQUIREMENTS.

**PRECONSTRUCTION CONFERENCE**

THE PERMITEE, OWNER-OF-RECORD, CONTRACTOR, ENGINEER, AND THE CITY SHALL HOLD A PRECONSTRUCTION CONFERENCE TO REVIEW THE PROPOSED SOIL EROSION AND SEDIMENT CONTROL MEASURES.

**GENERAL CONTROLS**

CLEANING OF STORMWATER STRUCTURES:

CLEAN ALL STORMWATER STRUCTURES, INCLUDING, BUT NOT LIMITED TO PIPES, SWALES, SUBSURFACE RETENTION BASINS, SEDIMENT TRAPS, AND RIPRAP APRONS OF SEDIMENT UPON COMPLETION OF THE PROJECT.

CONSTRUCTION ENTRANCE:

PLACE CLEAN WASHED STONE AT THE SITE ENTRANCES TO THE LENGTH, WIDTH AND DEPTH INDICATED ON THE PLANS AND DETAILS TO HELP REMOVE MUD AND/OR CLOG OF SOIL FROM CONSTRUCTION VEHICLES EXITING FROM THE SITE. ADD ADDITIONAL STONE AS NECESSARY TO MAINTAIN ADEQUATE SERVICEABILITY.

PAVEMENT MAINTENANCE:

THE CONTRACTOR SHALL SWEEP PAVEMENT AREAS ADJACENT TO THE CONSTRUCTION ACTIVITIES ON A ROUTINE BASIS TO PREVENT TRACKING OF MUD ONTO PUBLIC ROADWAYS AND WASHING MUD INTO WATERWAYS. IF THE CONTRACTOR'S SCHEDULE FOR CLEANING THE PAVEMENT IS FOUND TO BE INADEQUATE BY THE OWNER, OWNER'S REPRESENTATIVE, OR TOWN/CITY, THE CONTRACTOR SHALL INCREASE THE FREQUENCY AT NO ADDITIONAL COST TO THE OWNER.

WASTE DISPOSAL:

THE CONTRACTOR SHALL PROVIDE AN ADEQUATE NUMBER OF COVERED WASTE CONTAINERS TO ENSURE THE NO LITTER, DEBRIS, BUILDING MATERIALS, OR SIMILAR MATERIALS ARE DISCHARGED TO WETLANDS OR WATERCOURSES. THE CONTRACTOR SHALL INSTRUCT SUBCONTRACTORS TO USE THE CONTAINERS FOR WASTE MATERIAL. THE CONTAINERS SHALL BE PROMPTLY EMPTIED WHEN FULL.

**CONSTRUCTION SEQUENCING**

THE CONTRACTOR SHALL FOLLOW THIS GENERAL SEQUENCE OF THE WORK. DEVIATIONS MUST BE APPROVED BY THE OWNER/DEVELOPER AND THE CITY (IF NECESSARY).

- CONFIRM THAT ALL REQUIRED PERMITS ARE IN PLACE.
- CONTACT "DIG SAFE" FOR UTILITY DEMARCATION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONFIRM THAT ALL OVERHEAD AND SUBSURFACE UTILITIES ARE SHUT OFF OR OTHERWISE MADE SAFE FOR CONSTRUCTION TO COMMENCE.
- INSTALL PERIMETER EROSION AND SEDIMENTATION CONTROLS.
- HOLD PRE-CONSTRUCTION CONFERENCE ON THE SITE.
- COORDINATE AND INSTALL TEMPORARY POWER FOR CONSTRUCTION PURPOSES.
- CLEAR THE SITE AS SHOWN ON THE PLANS.
- CONSTRUCT DETENTION BASIN TO ONE FOOT ABOVE FINISHED GRADE TO FUNCTION AS A TEMPORARY CONSTRUCTION BASIN. INSTALL OUTLET CONTROL STRUCTURE SYSTEM, DISCHARGE PIPE, SUMP AND RIP-RAP. INSTALL DIVERSION SWALE.
- GRUB ONLY THE PROPOSED BUILDING AREA AND ROADWAY AREAS.
- CUT AND FILL SITE AS SHOWN ON THE PLANS AND CONSTRUCT RETAINING WALLS.
- INSTALL 6 MIL PLASTIC FROM FOURTH STREET TO STA 1+35. PLASTIC SHALL COVER ALL EXPOSED AREAS PRIOR TO STORM EVENTS AND PRIOR TO WEEKENDS.
- INSTALL GRADE-SENSITIVE UTILITIES (STORM SEWER AND SANITARY SEWER SYSTEMS).
- INSTALL STUB-LINES FROM DRAINAGE SYSTEM TO APPROPRIATE LOCATIONS AT THE BUILDING FOUNDATION FOR SUBSEQUENT ROOF-LEADER CONNECTIONS.
- INSTALL CATCH-BASIN EROSION PROTECTION.
- INSTALL CONDUITS FOR SITE UTILITIES (TELEPHONE, ELECTRIC, CATV, GAS, AND WATER SERVICE LINES). COORDINATE WITH APPLICABLE UTILITY COMPANIES AS REQUIRED.
- FINAL GRADE SITE, FORM THE SUBGRADE, AND INSTALL PAVEMENT BASE-MATERIAL. RESET CATCH-BASIN PROTECTION MEASURES AS NECESSARY AFTER COMPLETION OF FINISH GRADING.
- EXCAVATE FOR AND POUR THE NEW FOUNDATION. BEGIN BUILDING CONSTRUCTION.
- REMOVE CATCH-BASIN PROTECTION AND SILT FENCING IMMEDIATELY PRIOR TO PAVING. PAVE THE SITE AND INSTALL BITUMINOUS CONCRETE CURBING.
- INSTALL LANDSCAPING AND SIGNAGE FEATURES. PERIMETER EROSION AND SEDIMENT CONTROLS MAY BE REMOVED ONLY AFTER PROPER ESTABLISHMENT OF LANDSCAPING. EXCAVATE DETENTION BASIN TO FINISH GRADE.
- COMPLETE THE BUILDING CONSTRUCTION.

**DEWATERING PROCEDURE**

GROUNDWATER IS NOT ANTICIPATED TO BE ENCOUNTERED DURING CONSTRUCTION BASED UPON THE GRADE OF THE PROPOSED CONSTRUCTION AREAS TO EXISTING WETLAND RESOURCE AREAS. IN THE EVENT GROUNDWATER IS ENCOUNTERED, PUMPS SHALL BE UTILIZED TO CONVEY GROUNDWATER TO THE DETENTION BASIN.

**EFFORTS TO DECREASE STEEP SLOPES**

THE PROJECT WAS DESIGNED TO MINIMIZE IMPACTS AND AVOID EXISTING STEEP SLOPES BY PERFORMING CONSTRUCTION IN THE GENTLE SLOPED AREAS OF THE PROPERTY. PROPOSED SLOPES WILL CONSIST OF 3:1 SLOPES TO CONSTRUCT THE DETENTION BASIN. ALL OTHER SLOPES SHALL BE CONTROLLED WITH SLOPES WITH SLOPE STABILIZATION (SEE DETAIL PLAN 1/2), AND RETAINING WALLS TO MINIMIZE SITE DISTURBANCE.

**LIMIT OF CLEARING**

THE CONTRACTOR SHALL ADHERE TO THE LIMIT OF CLEARING AS DEFINED ON THIS PLAN.

**SITE SHUT DOWN AND WINTER STABILIZATION**

THE CONTRACTOR SHALL ENSURE THAT ALL AREAS DISTURBED DURING CONSTRUCTION ARE STABILIZED WITHIN TWO WEEKS OF FINALIZING. AREAS NOT STABILIZED WITHIN THIS TIMEFRAME SHALL BE COVERED WITH PLASTIC SHEETING OR MULCH TO PREVENT EROSION.

**DESCRIPTION AND MAINTENANCE OF EROSION CONTROL MEASURES**

**TEMPORARY STABILIZATION MEASURES**

SILT FENCE:

INSTALL SILT FENCE AT VARIOUS LOCATIONS AS SHOWN ON THE PLANS AND DETAILS. EMBED THE SILT FENCE INTO THE GROUND AND FIRMLY ANCHOR IT AS SHOWN IN THE DETAILS. HAY BALES AND SILT FENCE SHALL BE INSPECTED WEEKLY AND AFTER STORM EVENTS FOR DAMAGE AND EXCESSIVE SILTING. REPAIR AND/OR REPLACE SILT FENCE IMMEDIATELY IF DAMAGED OR DETERIORATED.

TEMPORARY CONSTRUCTION ENTRANCE:

TEMPORARY CONSTRUCTION ENTRANCE SHALL BE INSPECTED WEEKLY AND AFTER HEAVY STORM EVENTS, OR HEAVY USE, THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT SEDIMENT TRACKING OFFSITE. ALL SEDIMENT TRACKED ONTO FOURTH STREET SHALL BE SWEEPED UP IMMEDIATELY.

STOCKPILING OR STORAGE OF EXCAVATED MATERIALS:

COMPLETELY SURROUND TEMPORARY MATERIAL STOCKPILES WITH SILT FENCE OR HAYBALES TO PREVENT TRANSPORTATION OF SEDIMENT. STOCKPILED SEDIMENT SHALL BE MULCHED IF THEY ARE TO REMAIN MORE THAN THREE WEEKS. THE STOCKPILES SHALL BE INSPECTED WEEKLY AND AFTER STORM EVENTS FOR EROSION DAMAGE. ADDITIONAL MULCH SHALL BE ADDED IF NEEDED.

DUST CONTROL:

TAKE PRECAUTIONS TO PREVENT DUST FROM BECOMING A NUISANCE TO ADJUTING PROPERTY OWNERS. BROOM OFF PAVEMENTS ADJACENT TO THE EXCAVATION ON A DAILY BASIS. COVER AND/OR KEEP MOIST ALL EARTH STOCKPILES AT ALL TIMES. USE CALCIUM CHLORIDE TO CONTROL DUST OVER CERTAIN AREAS OF THE SITE, AS DIRECTED BY THE ENGINEER OR SHOWN ON THE PLANS. CALCIUM CHLORIDE SHALL CONFORM TO ASTM D-98, TYPE I. THE CONTRACTOR SHALL MAINTAIN AND INSPECT, ON A DAILY BASIS, THE ADEQUACY OF DUST CONTROL MEASURES AND CORRECT ANY DEFICIENCIES IMMEDIATELY.

LOAMING AND SEEDING:

LOAMED AND SEEDED AREAS SHALL BE INSPECTED AFTER FINAL GRADING FOR AREAS THAT NEED TO BE RESEEDED OR STABILIZED.

DIVERSION SWALES:

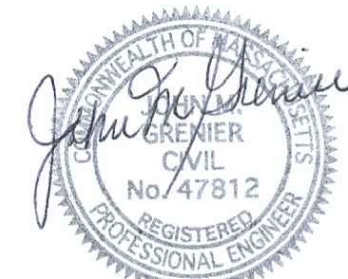
TEMPORARY DIVERSION SWALES SHALL BE INSPECTED WEEKLY AND AFTER STORM EVENTS FOR EROSION DAMAGE AND EXCESSIVE SILTING. SILT SHALL BE REMOVED IF NECESSARY. ANY EROSION DAMAGE SHALL BE REPAIRED IMMEDIATELY.

TEMPORARY BASIN/SUMP:

TEMPORARY CONSTRUCTION BASIN AND TEMPORARY SUMP SHALL BE INSPECTED WEEKLY AND AFTER STORM EVENTS FOR EROSION DAMAGE AND EXCESSIVE SILTING.

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12/16/21

**GRAPHIC SCALE**



( IN FEET )  
1 inch = 30 ft.

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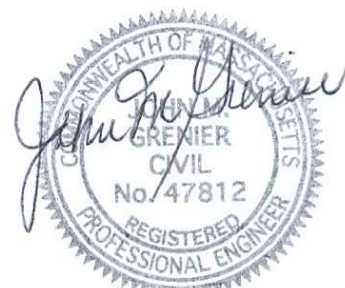
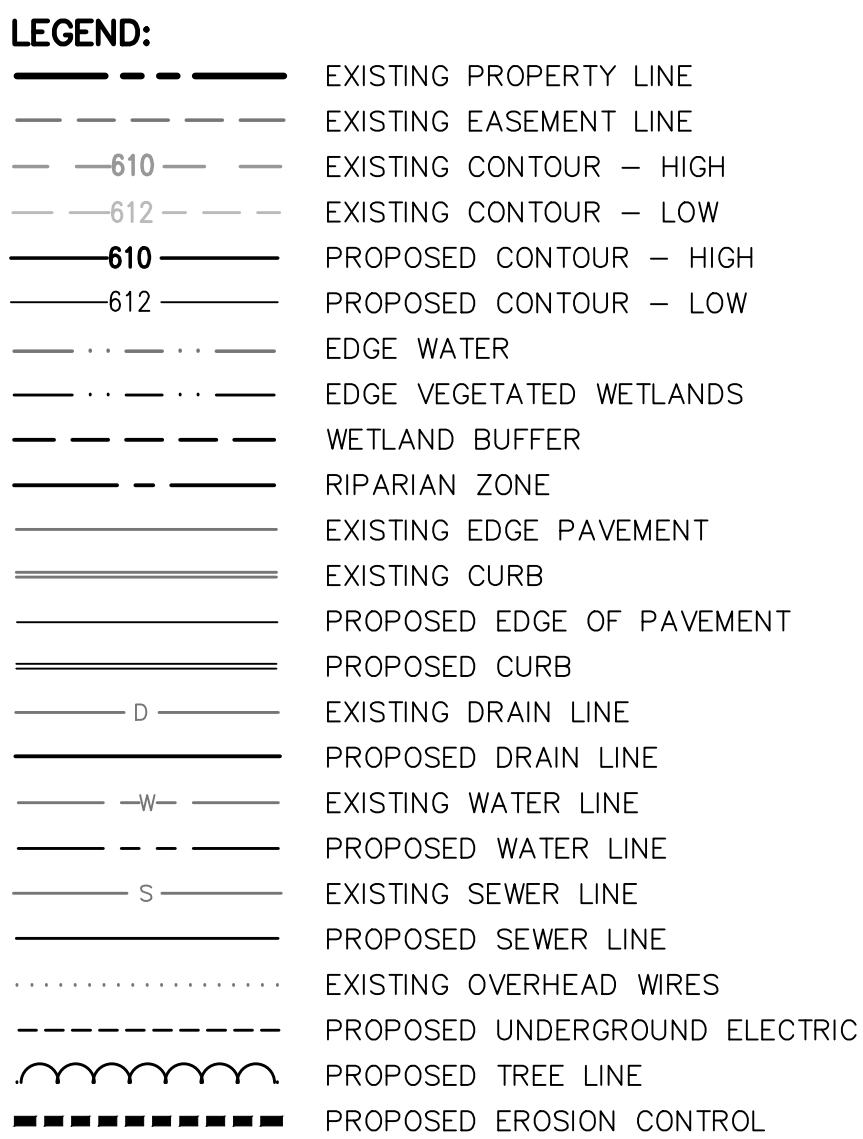
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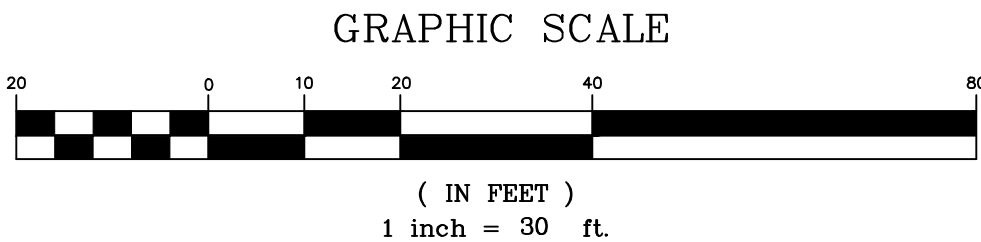
**EROSION & SEDIMENTATION CONTROL PLAN**

**SHEET NO.:** SHEET 7 OF 11  
**PROJECT NO.:** G-636





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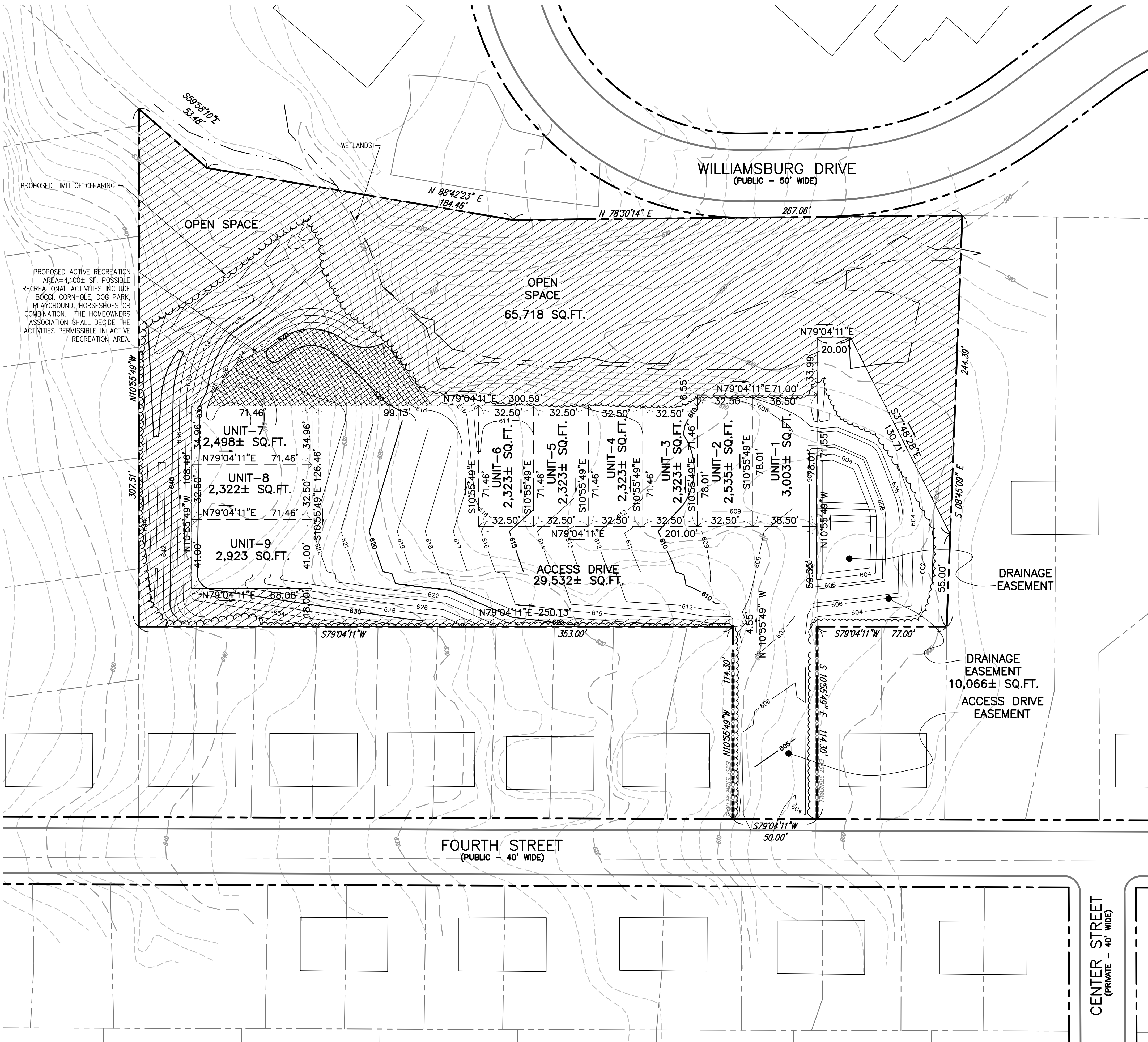
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SCALE: $1" = 30'$	DATE: OCTOBER 22, 2021
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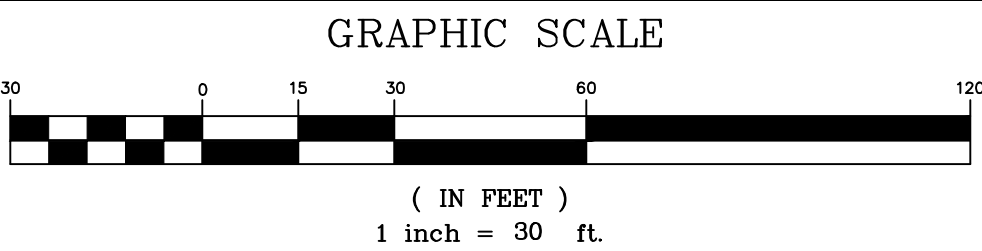
DRIVEWAY PLAN &amp; PROFILE

SHEET NO.:	PROJECT NO.:
SHEET 8 OF 11	G-636





- LEGEND:**
- EXISTING PROPERTY LINE
  - EXISTING EASEMENT LINE
  - EXISTING CONTOUR - HIGH
  - EXISTING CONTOUR - LOW
  - PROPOSED CONTOUR - HIGH
  - PROPOSED CONTOUR - LOW
  - EDGE WATER
  - EDGE VEGETATED WETLANDS
  - WETLAND BUFFER
  - RIPARIAN ZONE
  - EXISTING EDGE PAVEMENT
  - EXISTING CURB
  - PROPOSED EDGE OF PAVEMENT
  - PROPOSED CURB
  - EXISTING DRAIN LINE
  - PROPOSED DRAIN LINE
  - EXISTING WATER LINE
  - PROPOSED WATER LINE
  - EXISTING SEWER LINE
  - PROPOSED SEWER LINE
  - EXISTING OVERHEAD WIRES
  - PROPOSED UNDERGROUND ELECTRIC
  - PROPOSED TREE LINE
  - PROPOSED EROSION CONTROL



1	12/16/21	REVISE TURNAROUND
REV. NO.	DATE	REVISION

**TITLE:**  
DEFINITIVE SITE PLAN  
CLUSTER GROUP OF SINGLE FAMILY DWELLINGS  
AT  
47R FOURTH STREET  
WORCESTER, MASSACHUSETTS 01602

**PREPARED FOR:**  
DANIEL YARNIE  
37 WEST MILLBURY ROAD  
SUTTON, MASSACHUSETTS 01590

**PROPERTY OWNER:**  
DANIEL YARNIE  
37 WEST MILLBURY ROAD  
SUTTON, MASSACHUSETTS 01590

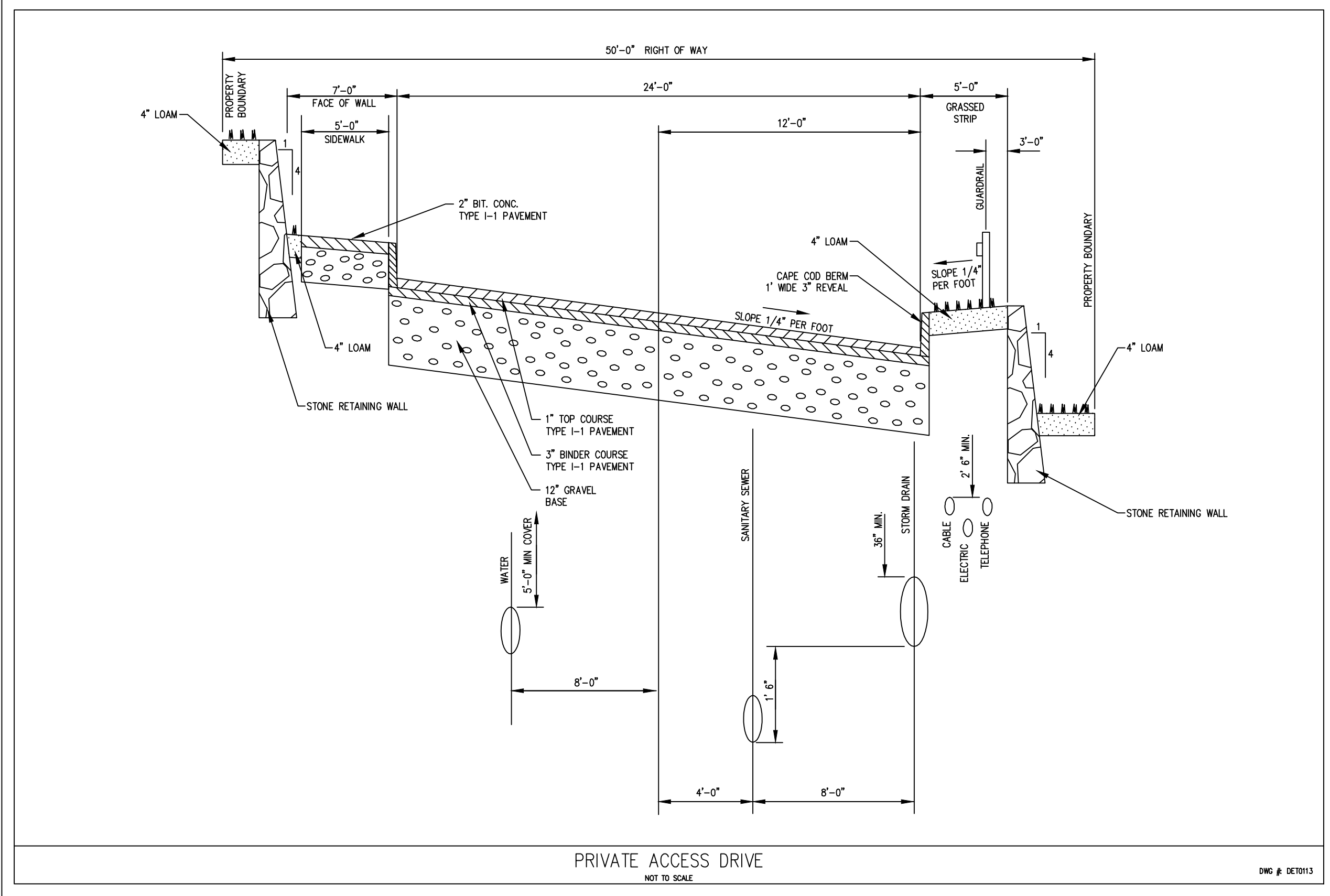
**PREPARED BY:**  
J.M. GRENIER ASSOCIATES INC.  
325 DONALD LYNCH BOULEVARD SUITE 100  
MARLBOROUGH, MASSACHUSETTS 01752

**TELE. NO.:** (508) 845-2500  
**SCALE:** 1" = 30'  
**DATE:** OCTOBER 22, 2021

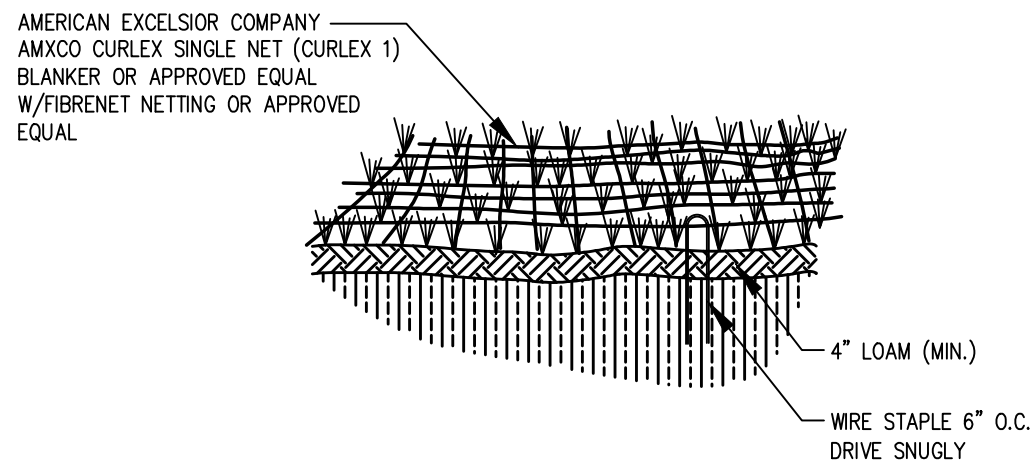
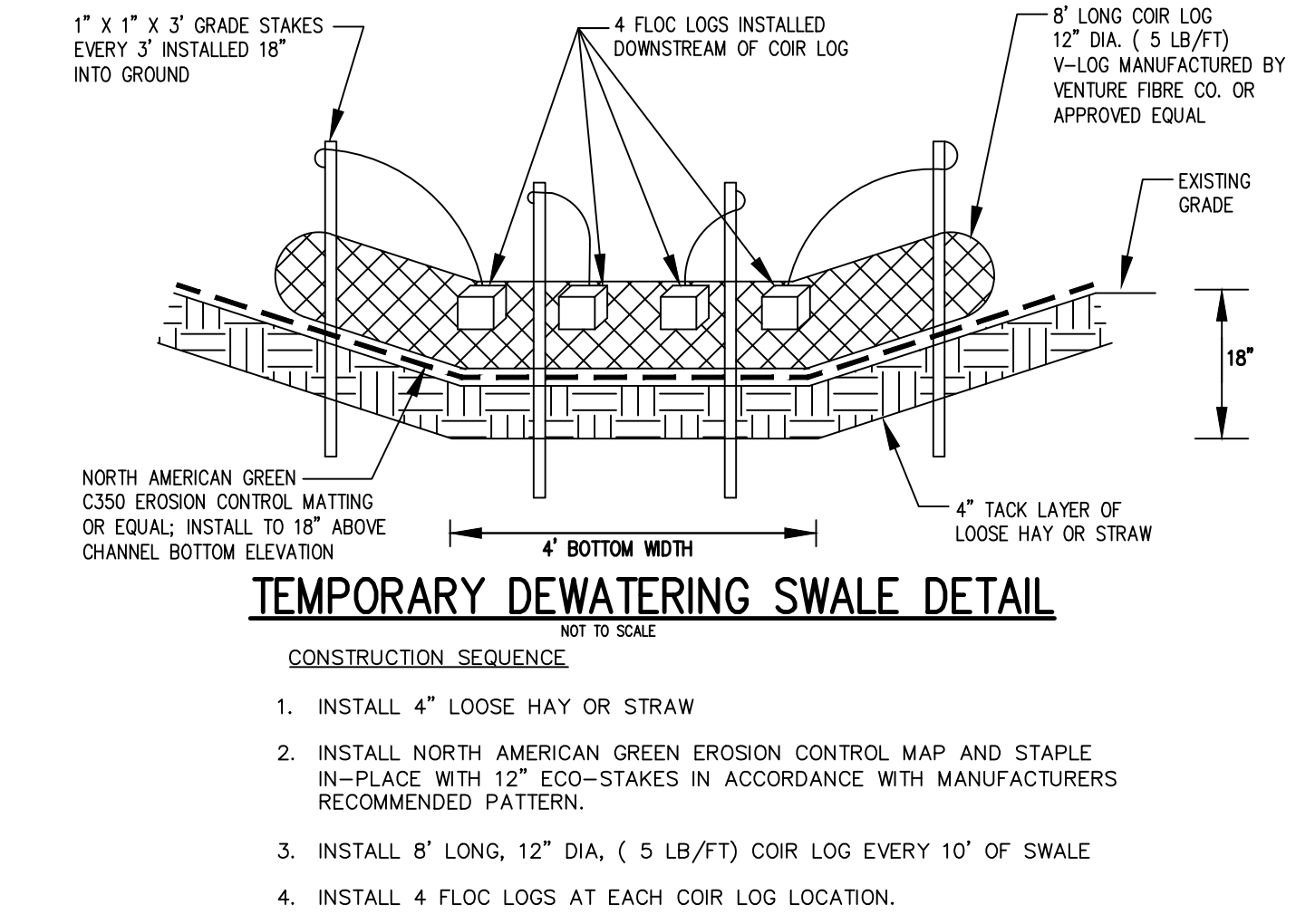
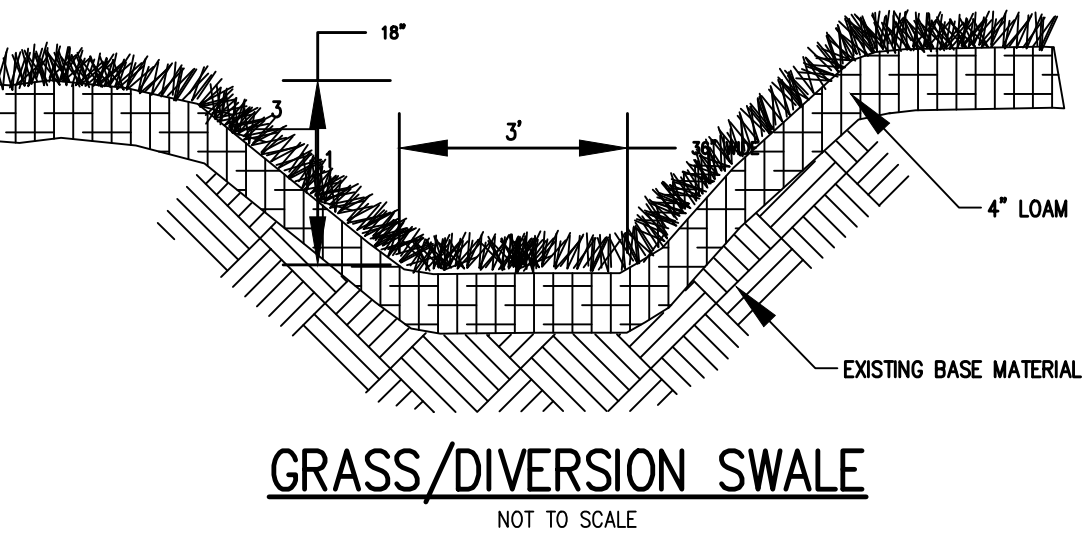
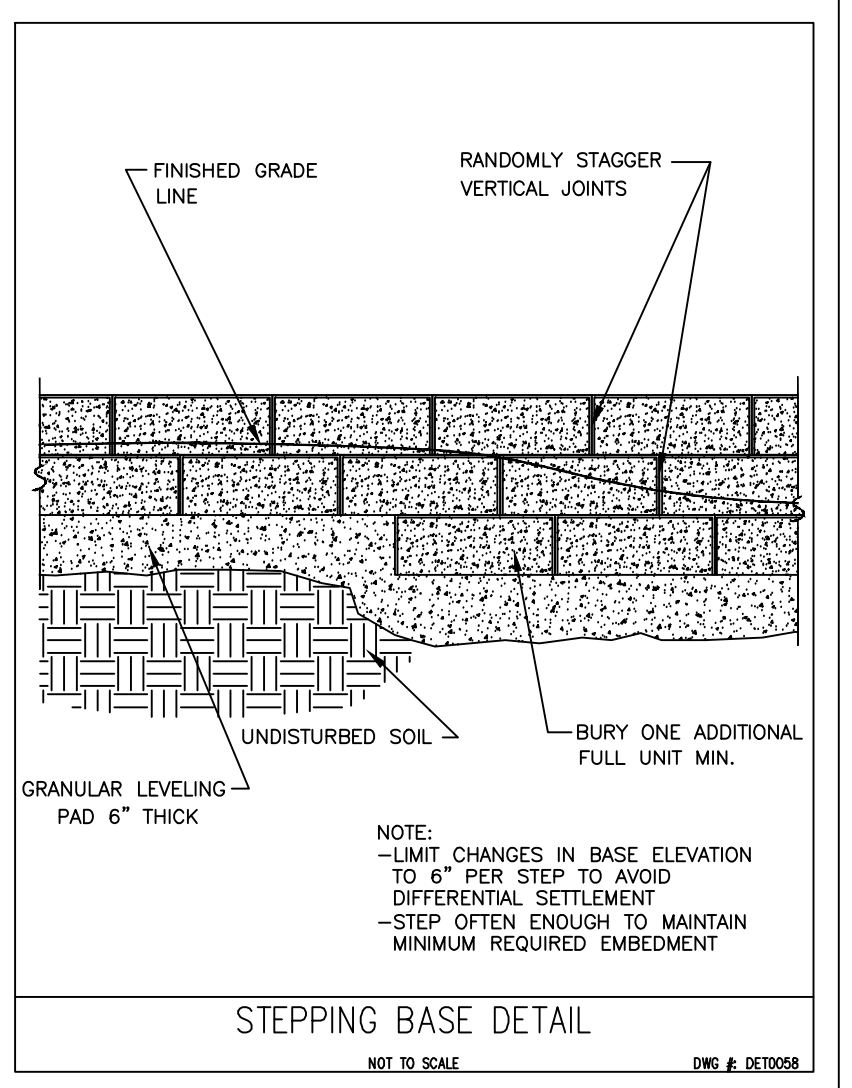
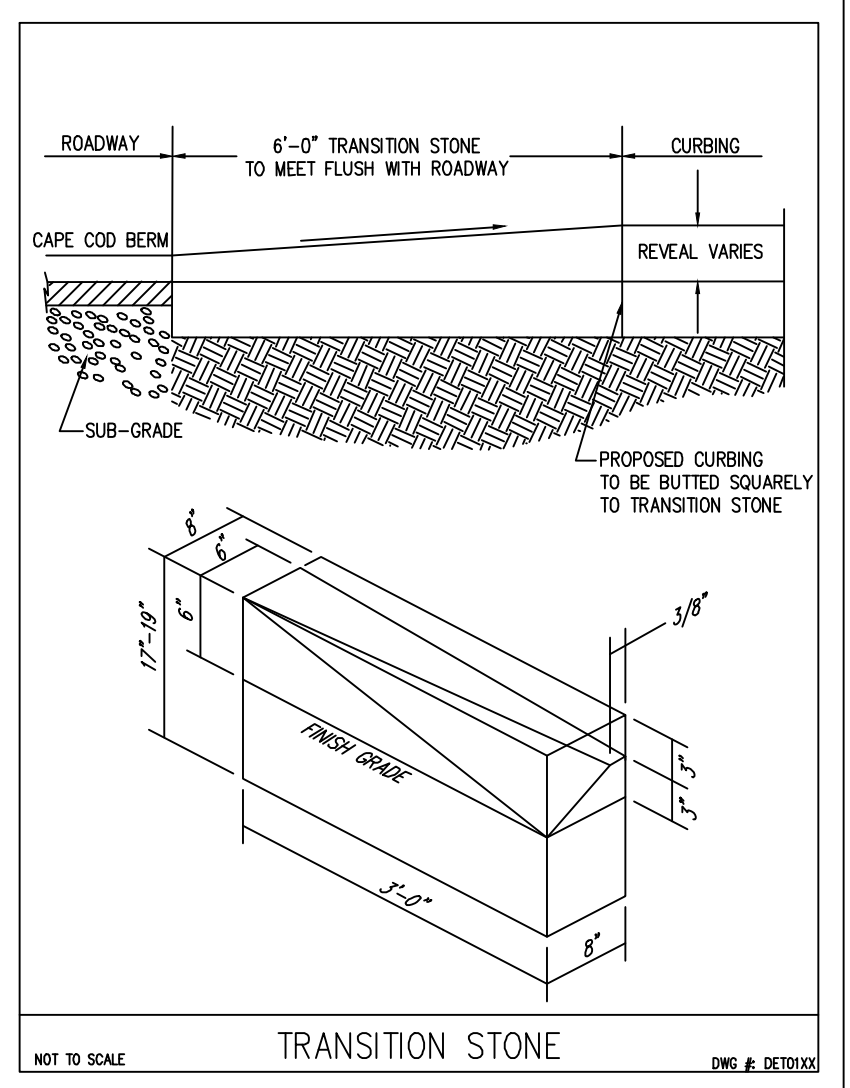
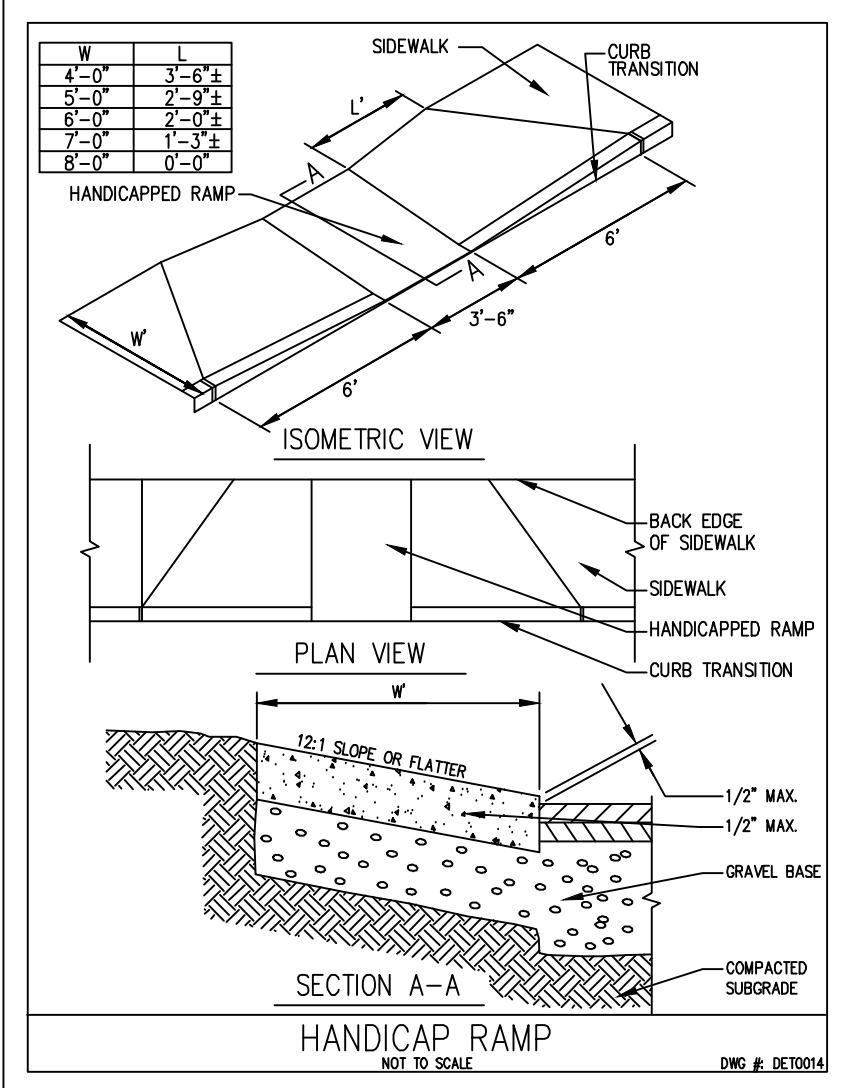
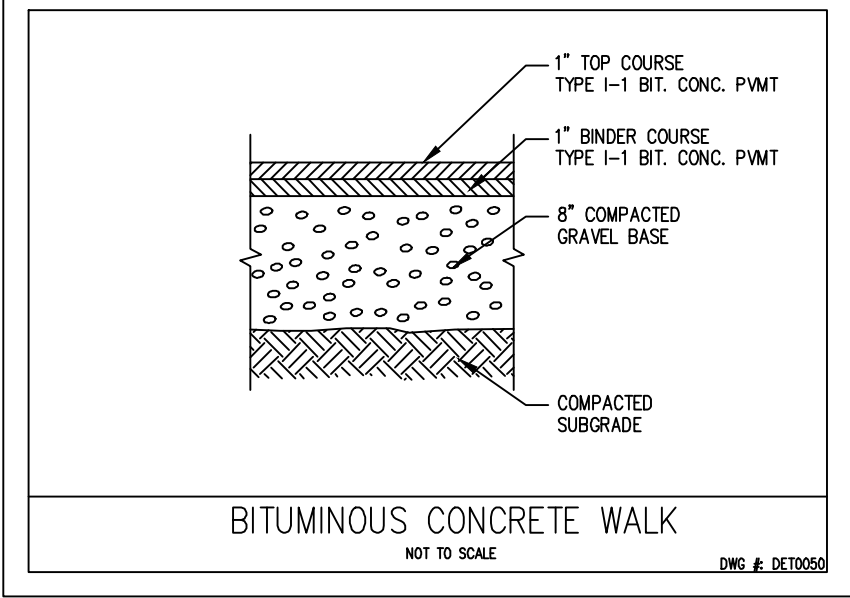
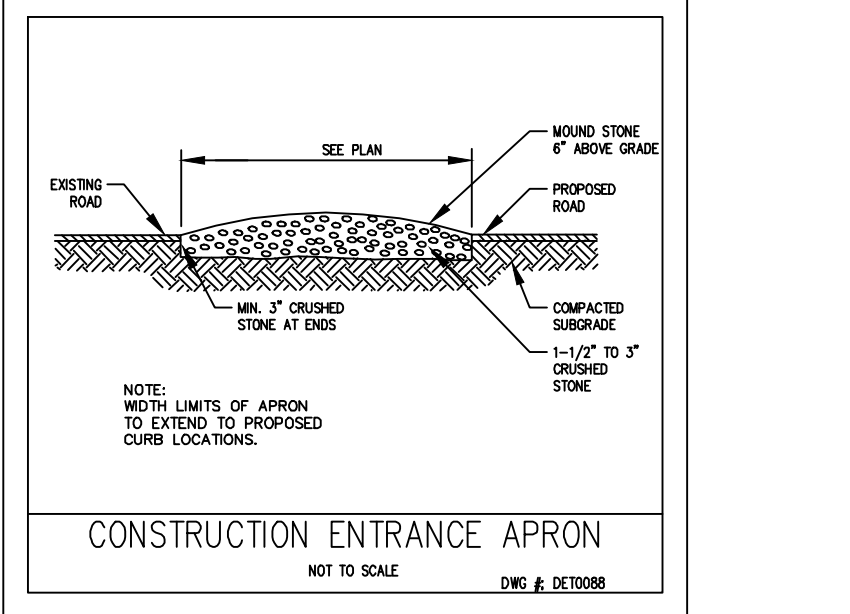
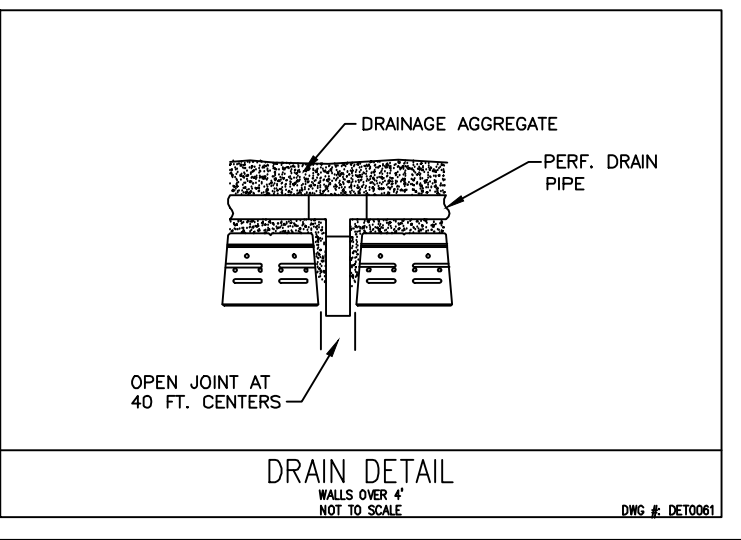
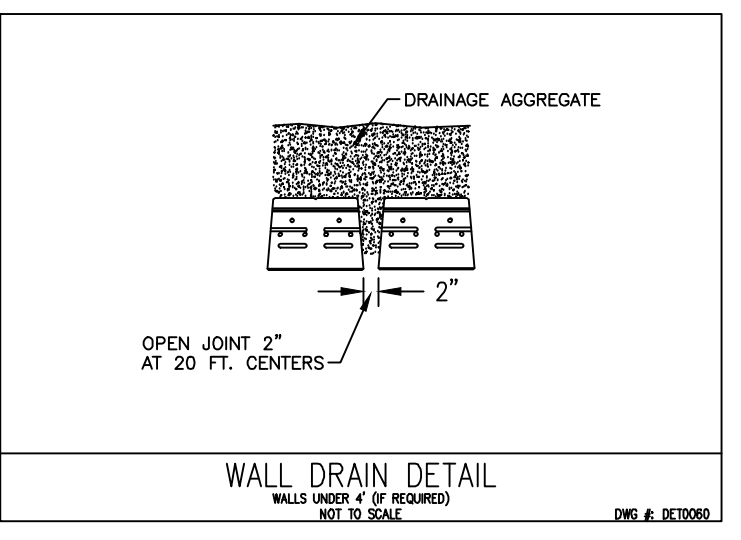
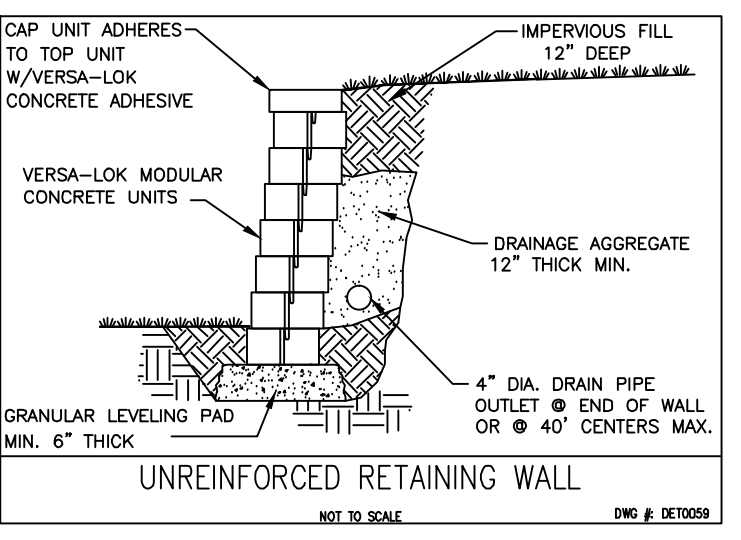
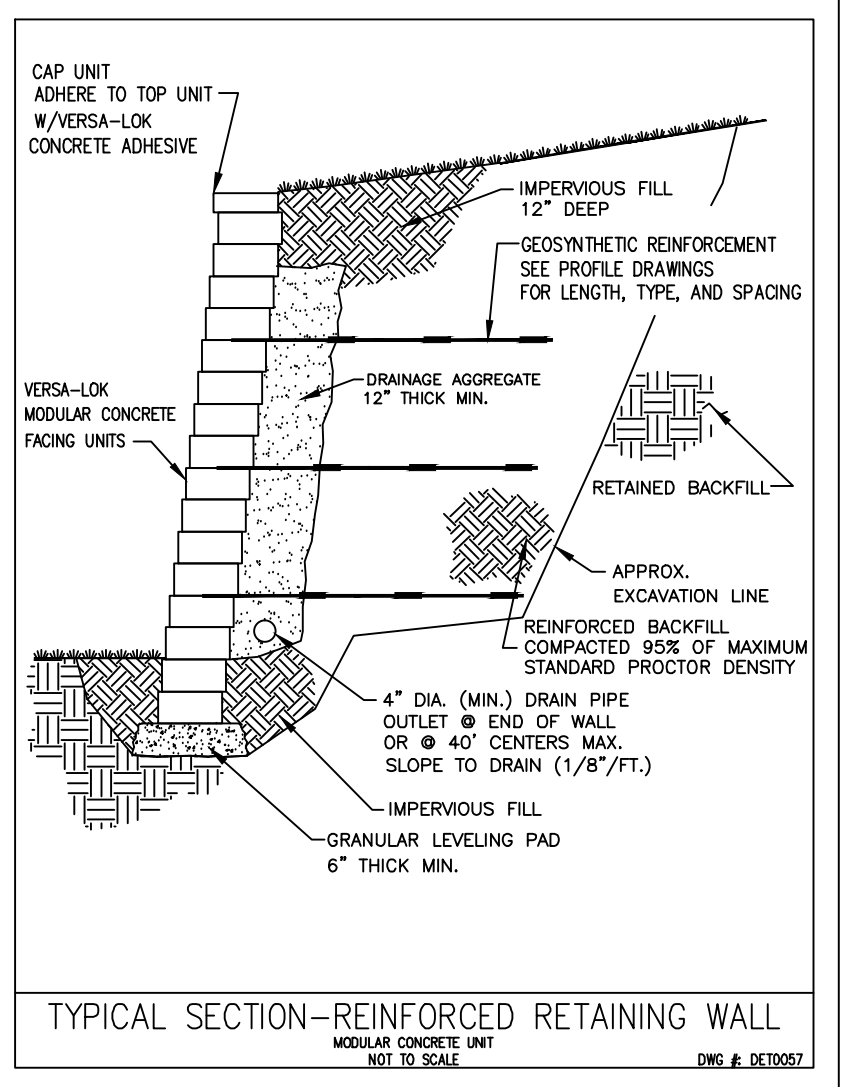
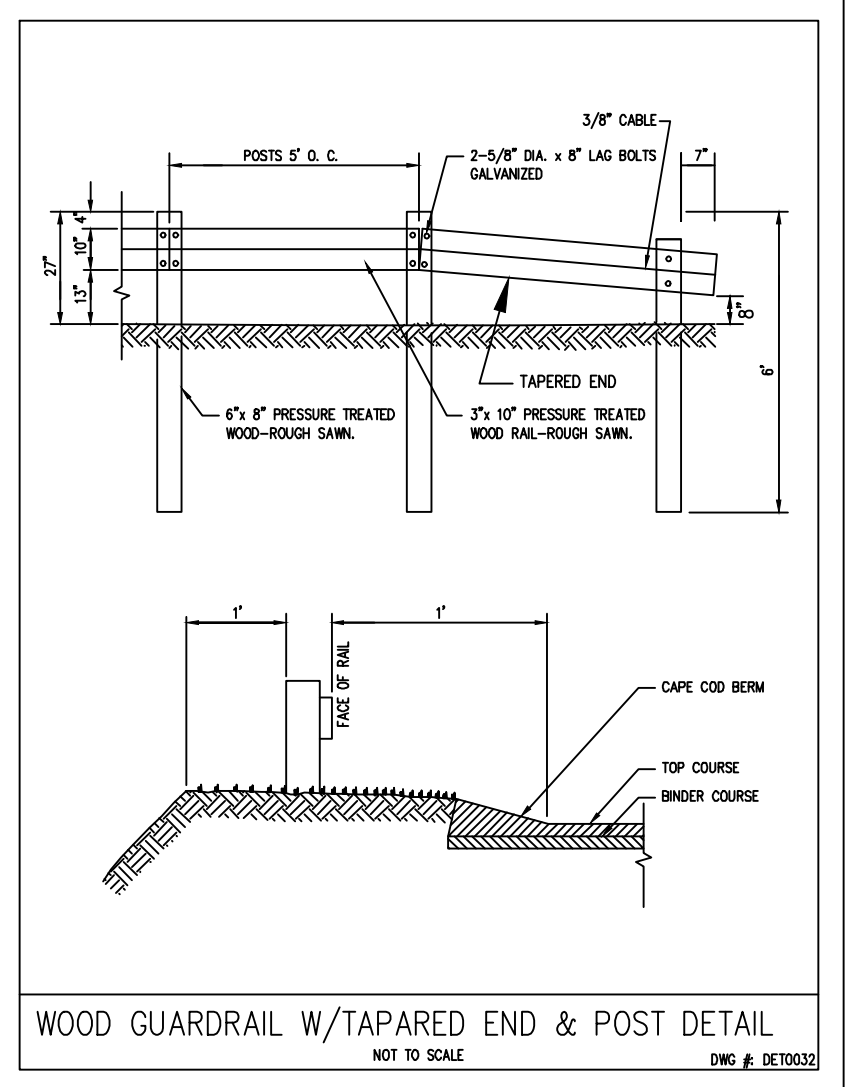
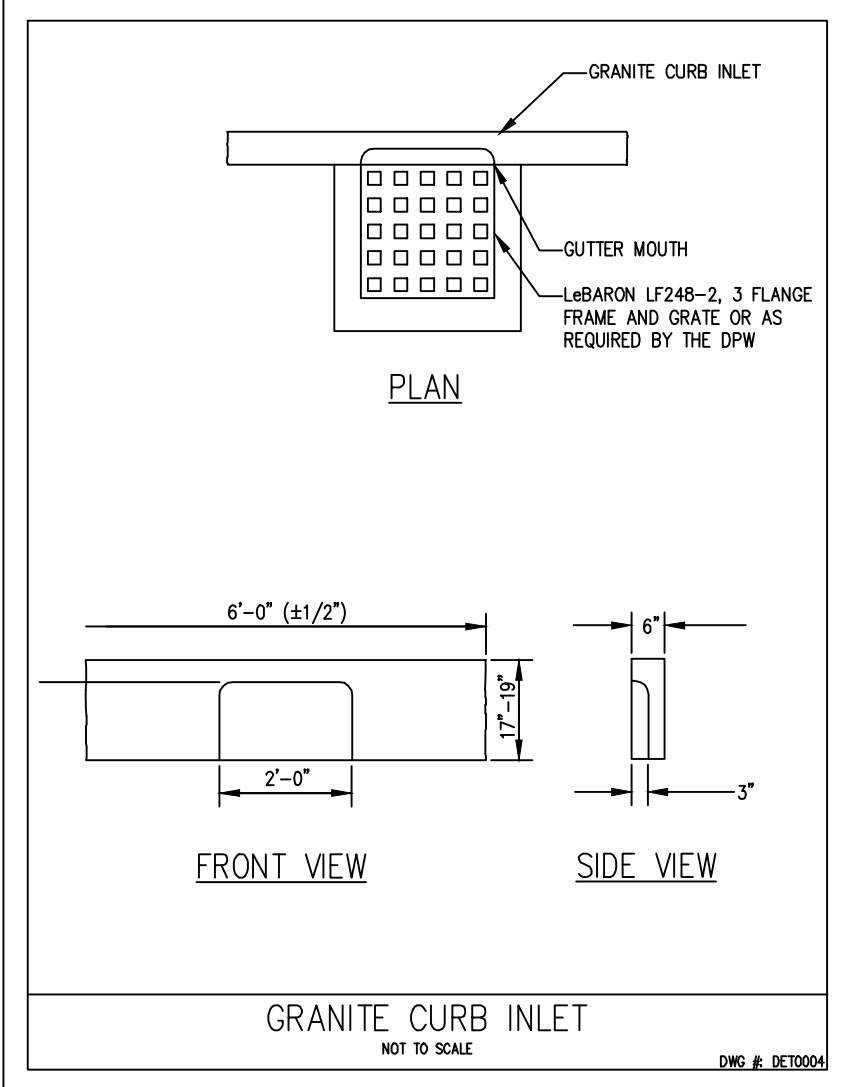
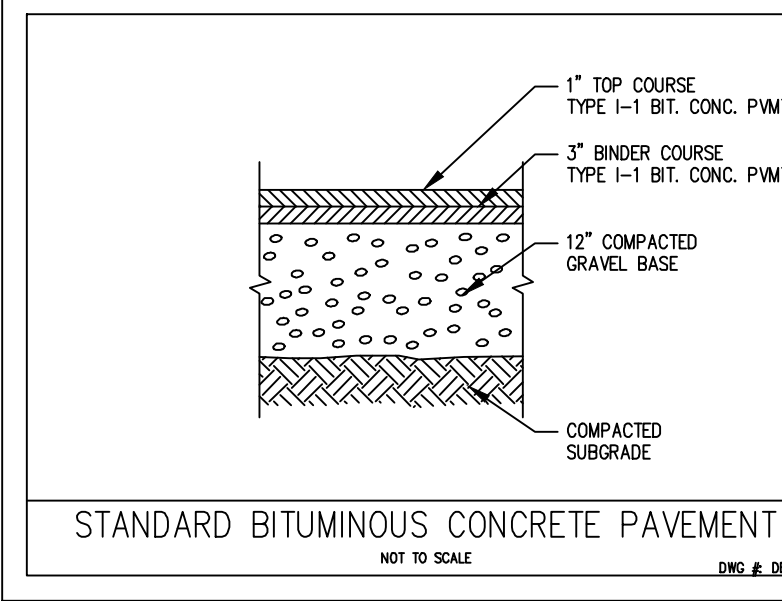
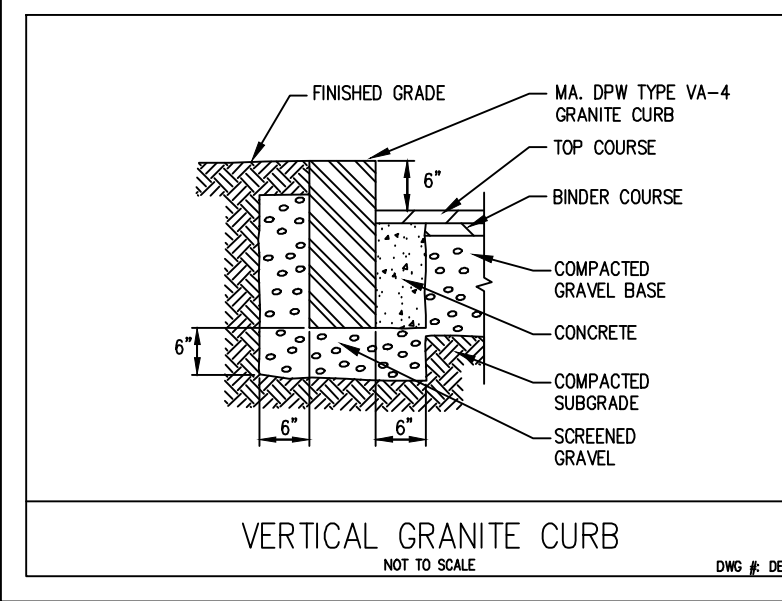
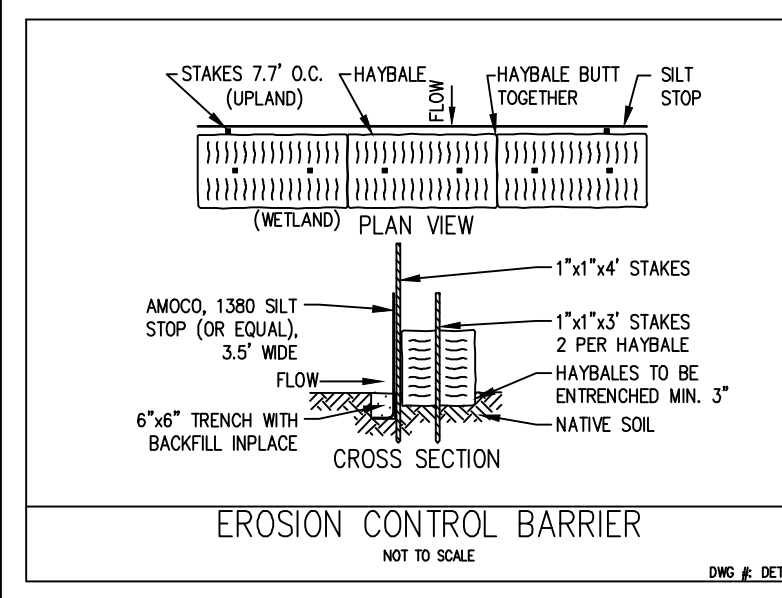
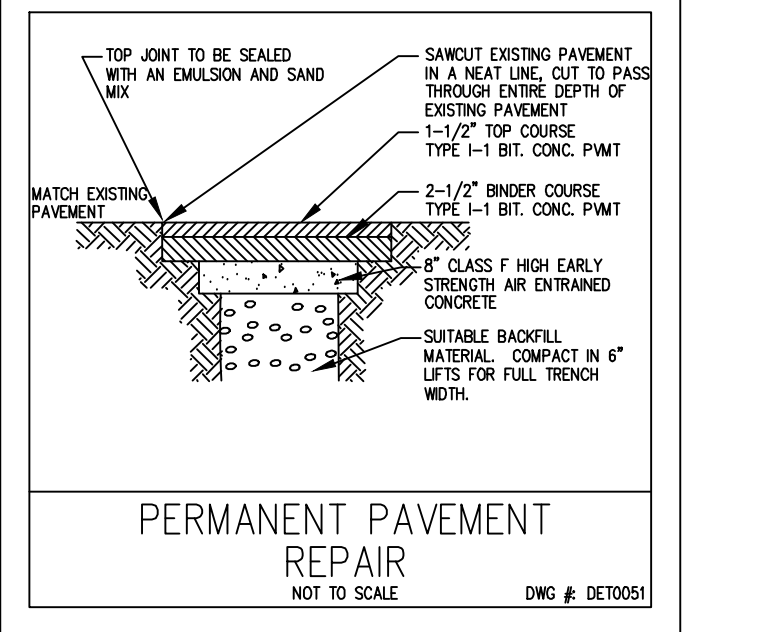
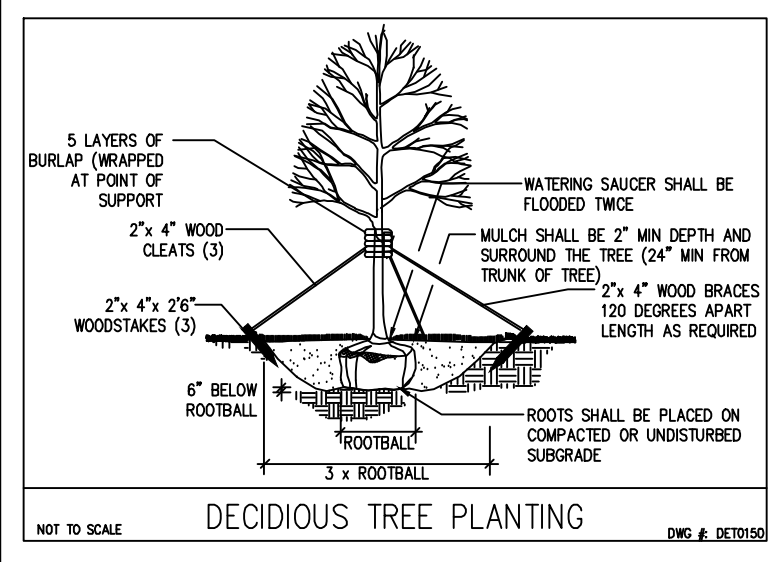
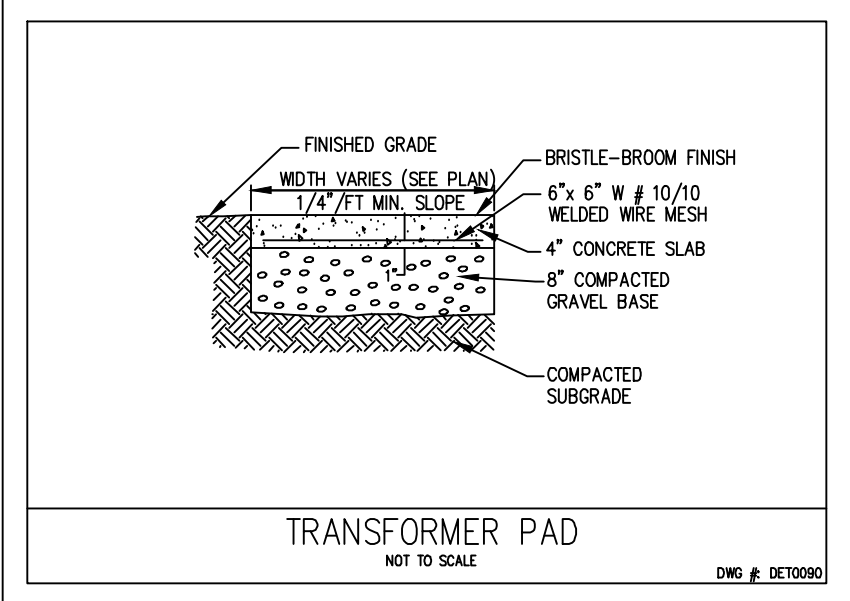
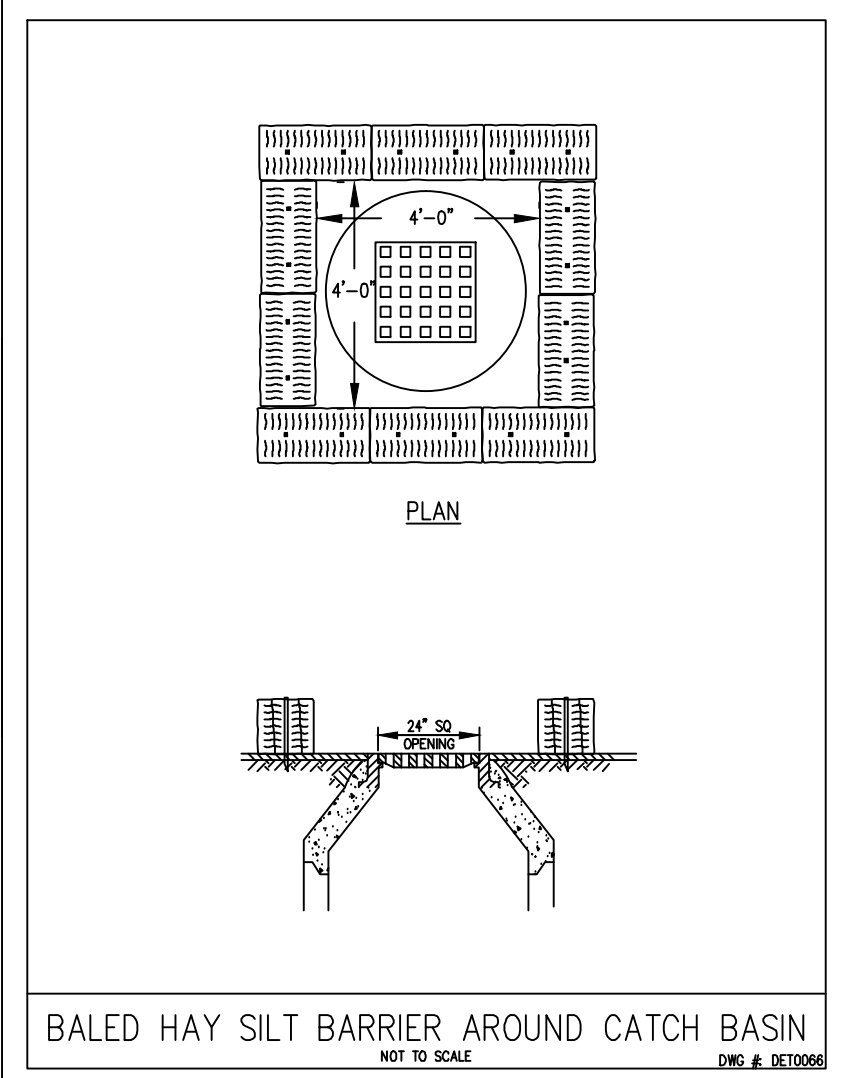
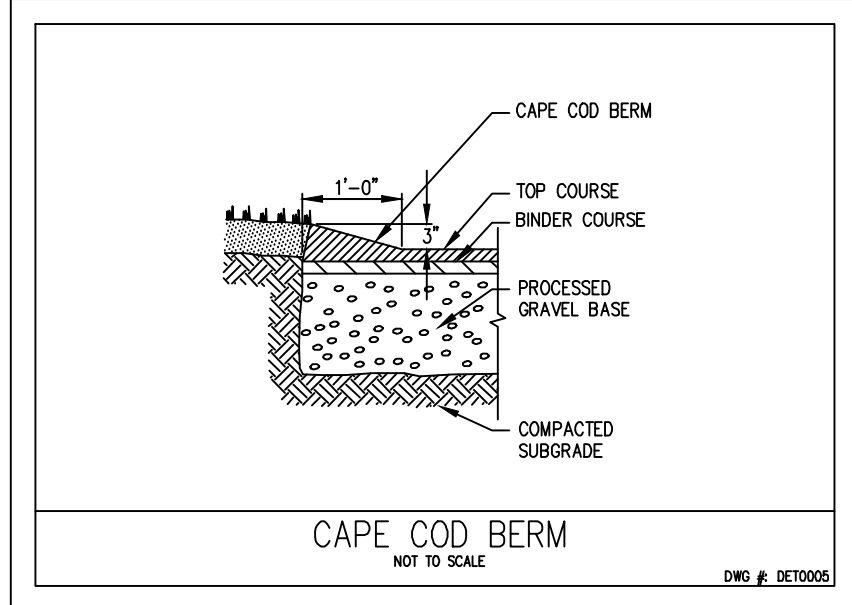
**OPEN SPACE PLAN**

**SHEET NO.:** SHEET 9 OF 11  
**PROJECT NO.:** G-636

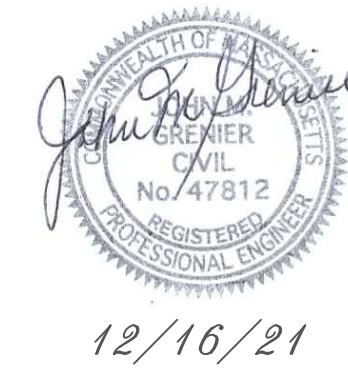




1. THE SITE CONTRACTOR SHALL POST "DEP" SIGN AND REVIEW THE CONDITIONS DESCRIBED IN THE "ORDER OF CONDITIONS" ISSUED FOR THIS PROJECT.
  2. EROSION CONTROL MEASURES (SEE DETAILS) SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION AS INDICATED.
  3. MEASURES SHALL BE TAKEN TO LIMIT THE TRACKING OF MATERIAL FROM THE SITE ONTO CONSTITUTION BOULEVARD.
  4. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED MEASURES AS NECESSARY.
  5. CATCH BASIN AND FLARED END STRUCTURES SHALL BE RINGED WITH STAKED HAYBALES UNTIL THE ADJACENT SLOPES HAVE FULLY VEGETATED.
  6. THROUGHOUT CONSTRUCTION, ALL DISTURBED AREAS SHALL BE LOADED AND SEEDED AND MULCHED AS SOON AS PRACTICABLE IN ORDER TO AVOID OVERLAND TRANSPORT OF SEDIMENT.
  7. EROSION CONTROL MEASURES ARE TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND PARTICULARLY AFTER SIGNIFICANT RAINFALL. DILAPIDATED HAYBALES AND SILT STOP SHALL BE REPLACED AS REQUIRED TO MAINTAIN THE INTEGRITY OF THE BARRIER.
  8. WITH SLOPES STABILIZED AND FINAL CONSERVATION COMMISSION INSPECTION COMPLETE, THE EROSION CONTROL BARRIER SHALL BE REMOVED AND PROPERLY DISPOSED OFF-SITE.
- SEDIMENTATION & EROSION CONTROL METHODS & PROCEDURES**



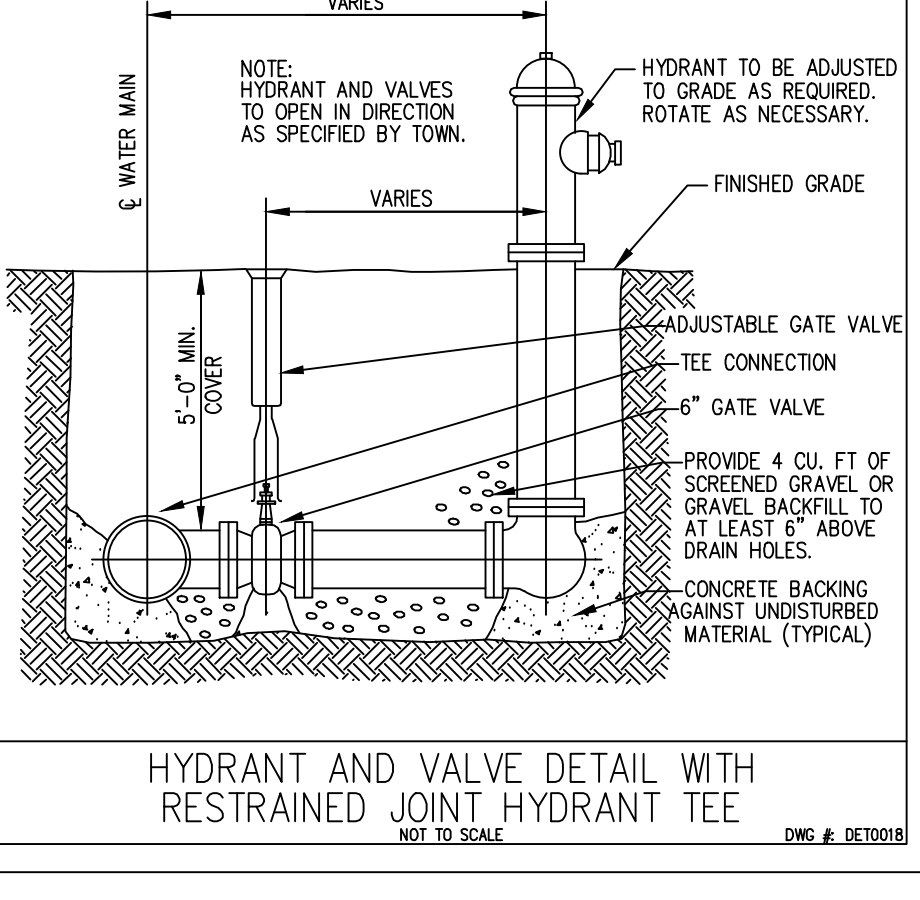
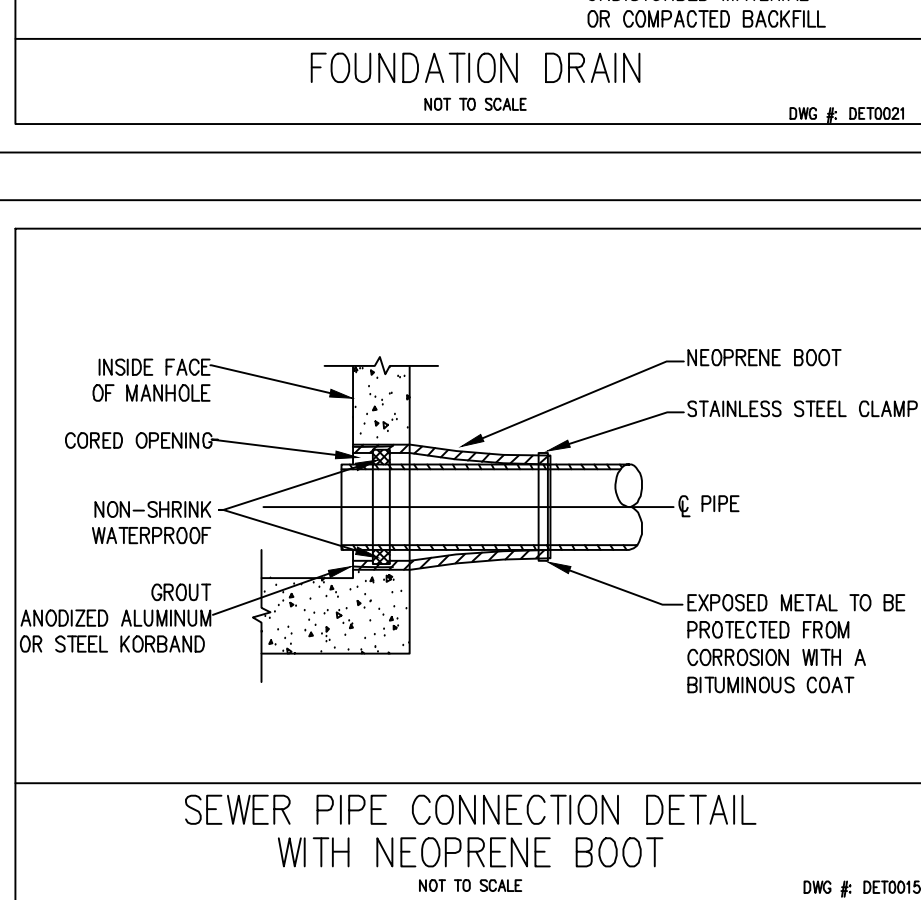
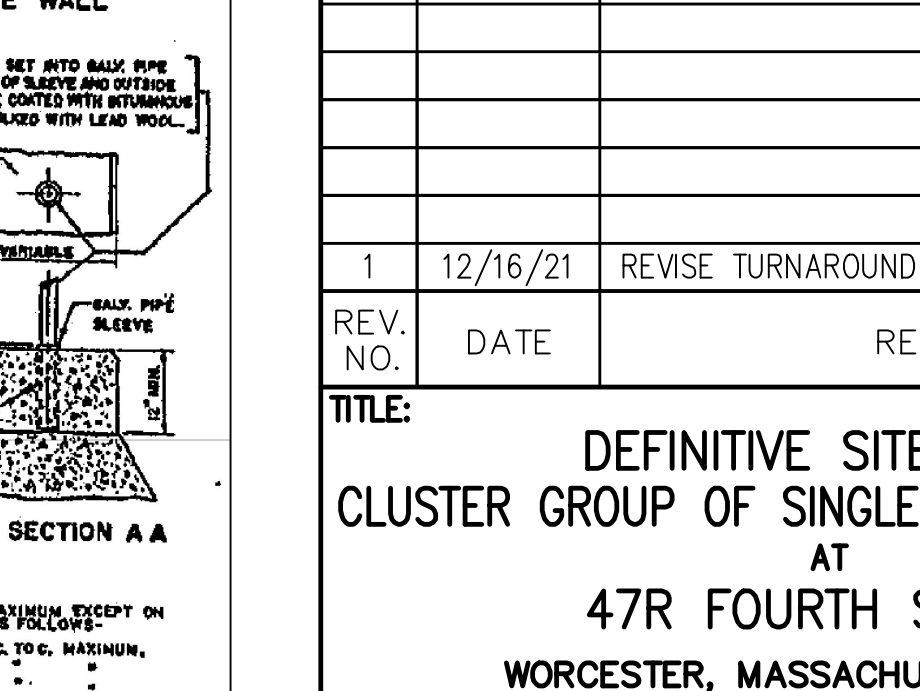
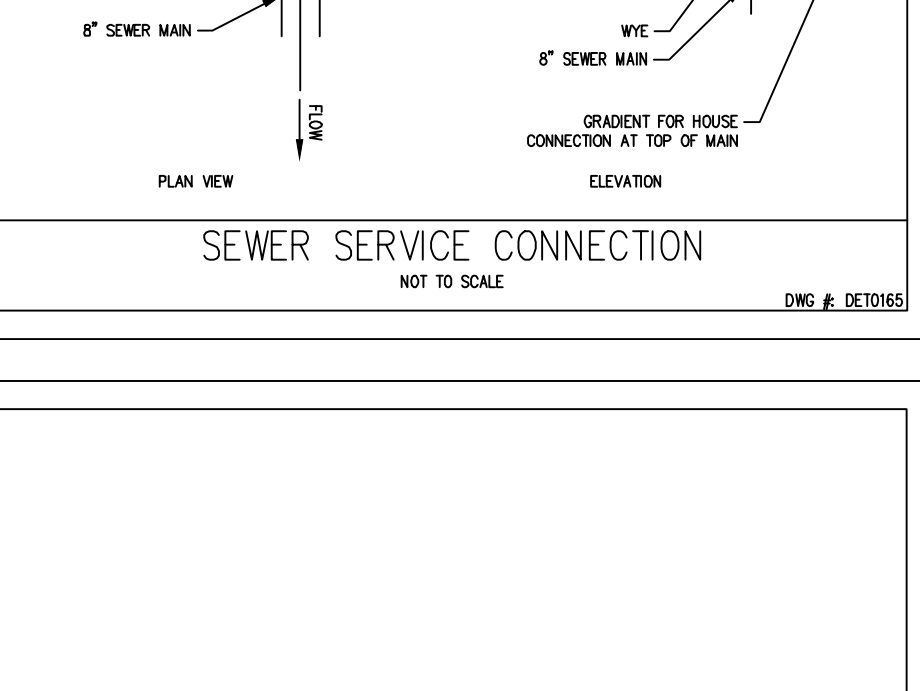
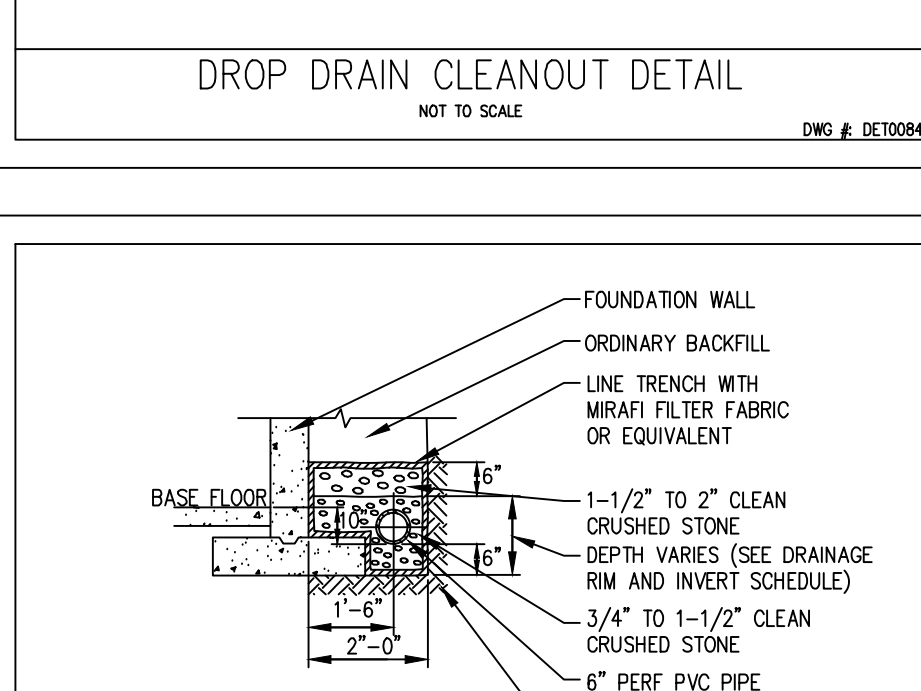
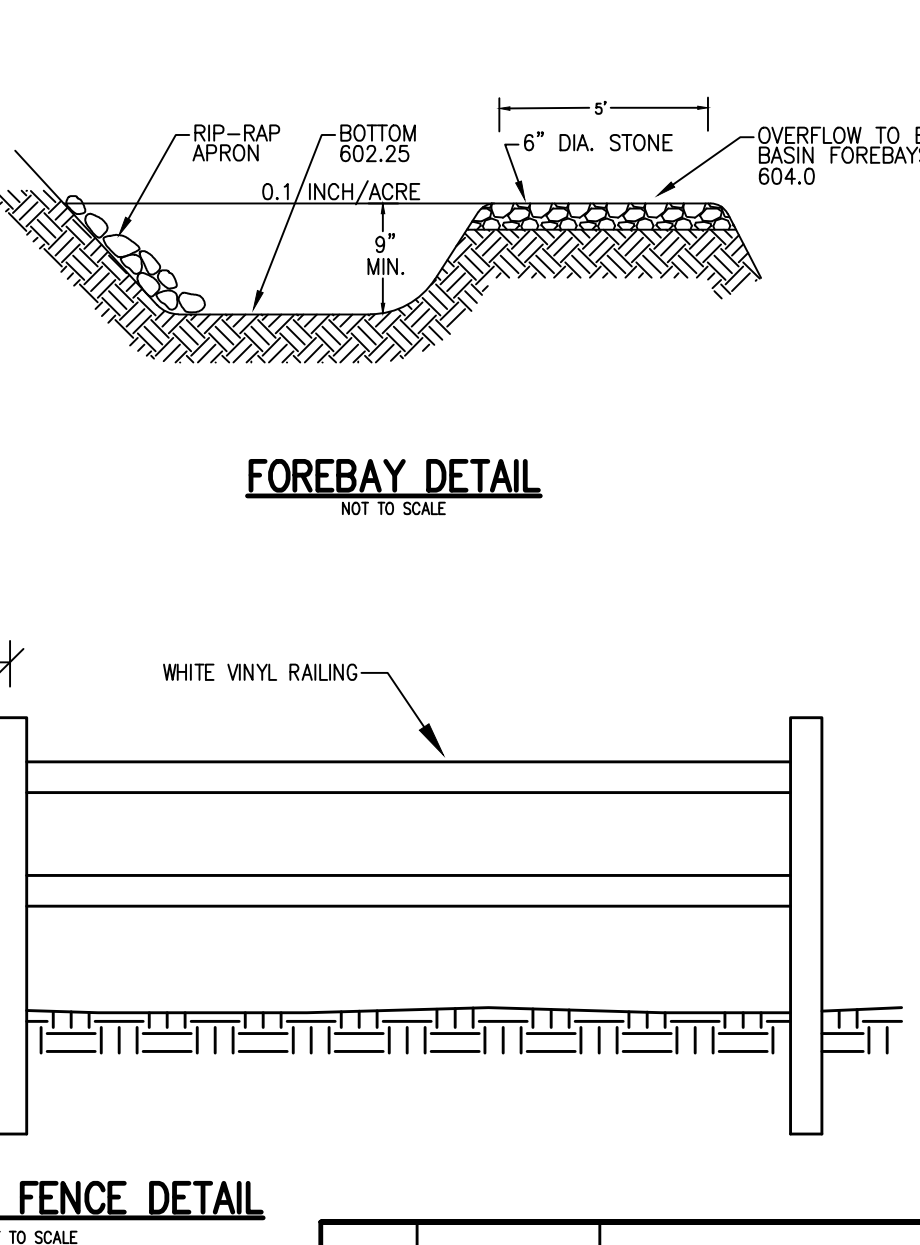
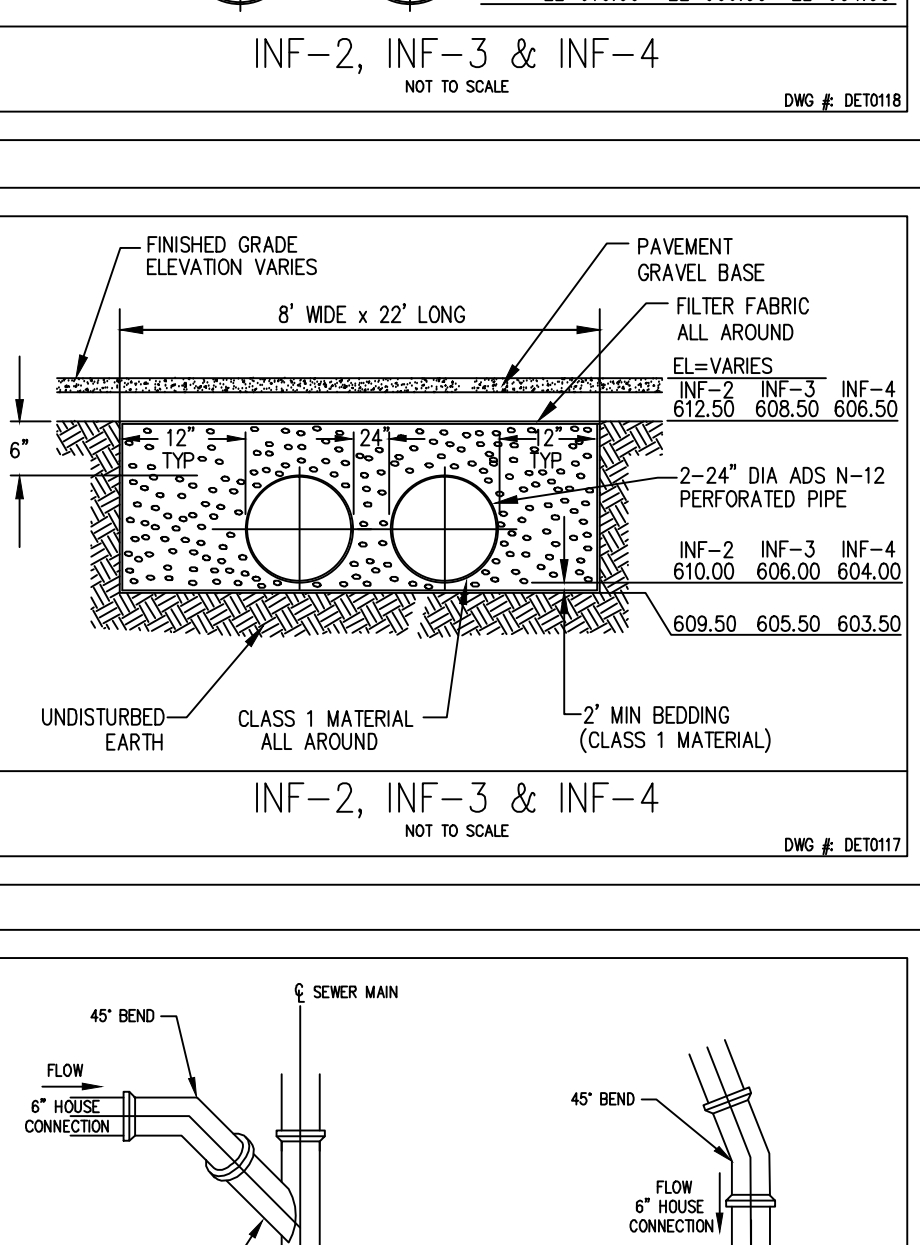
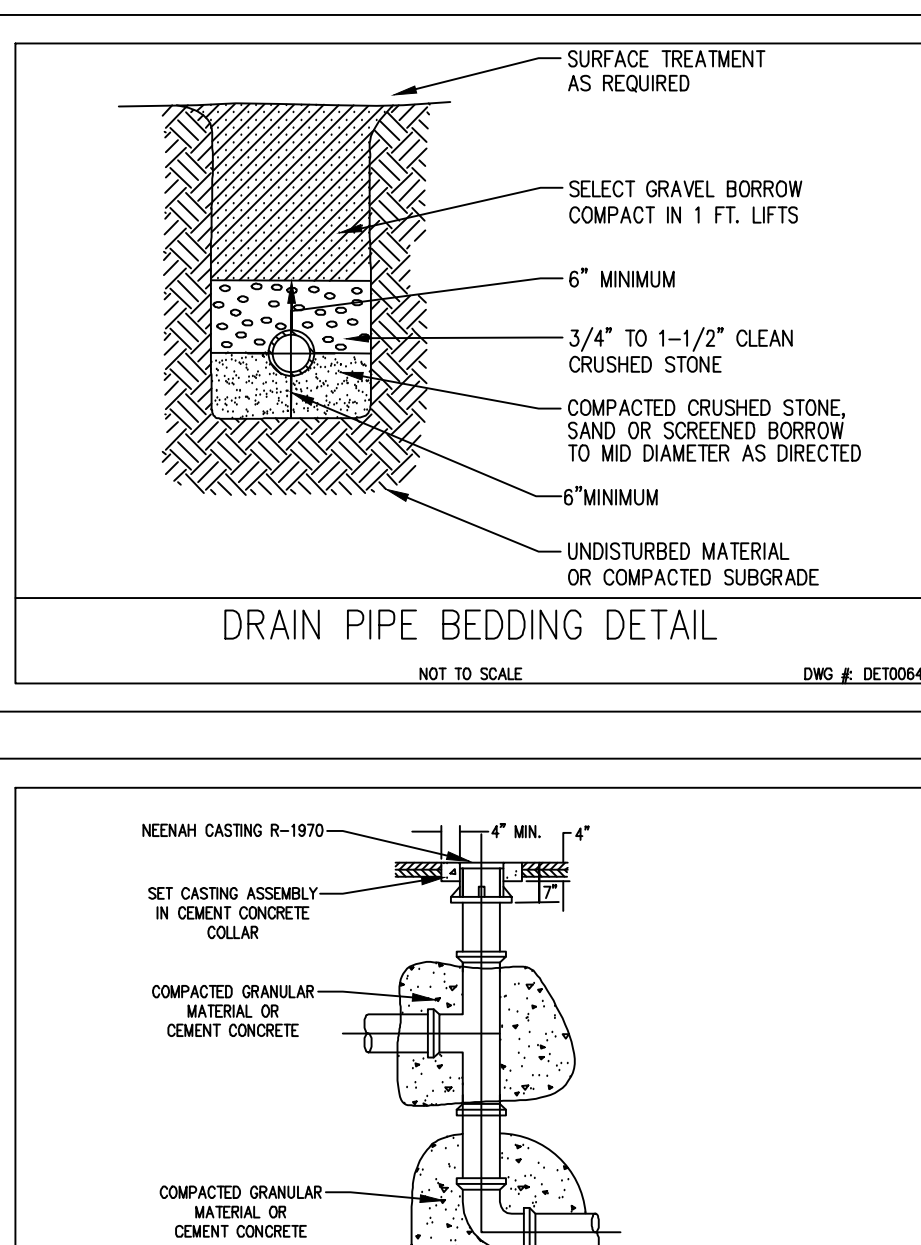
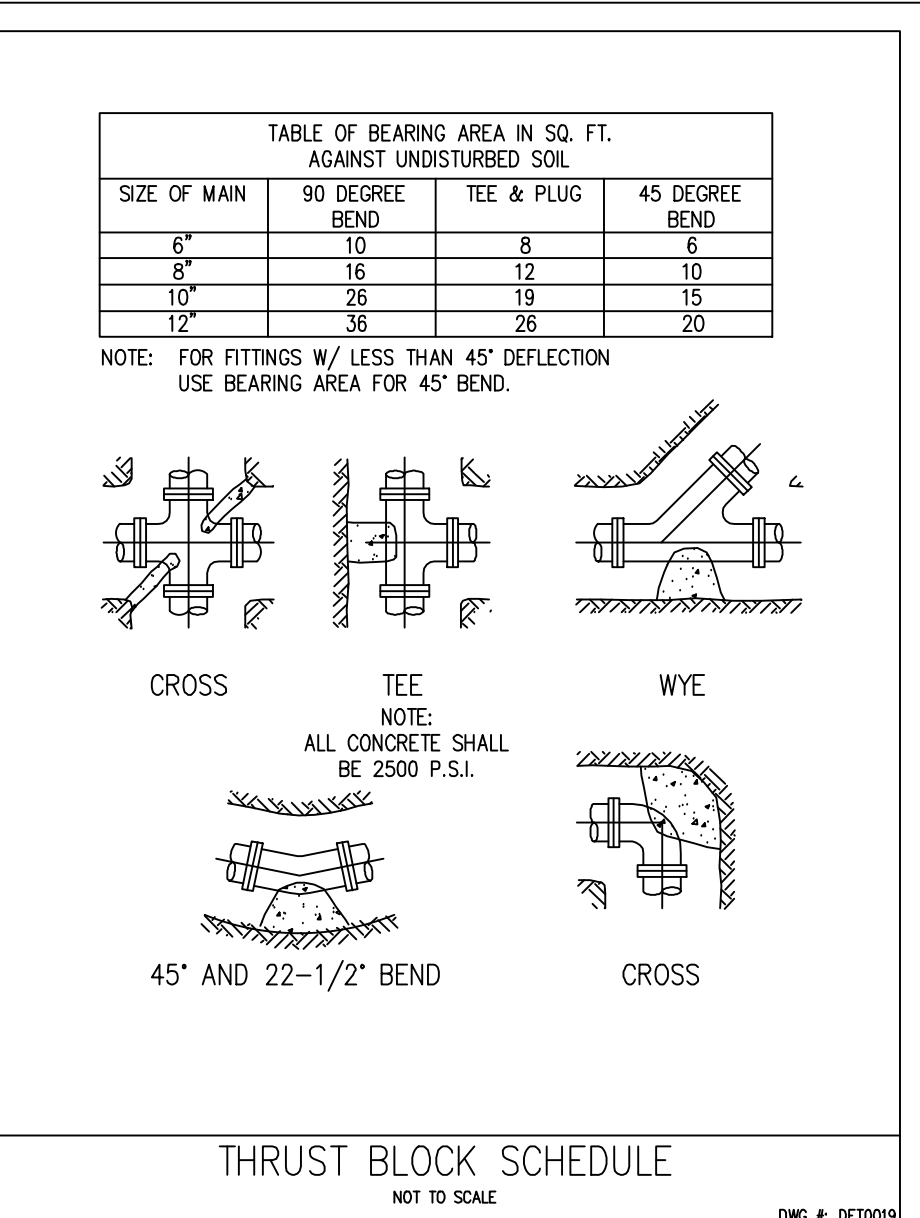
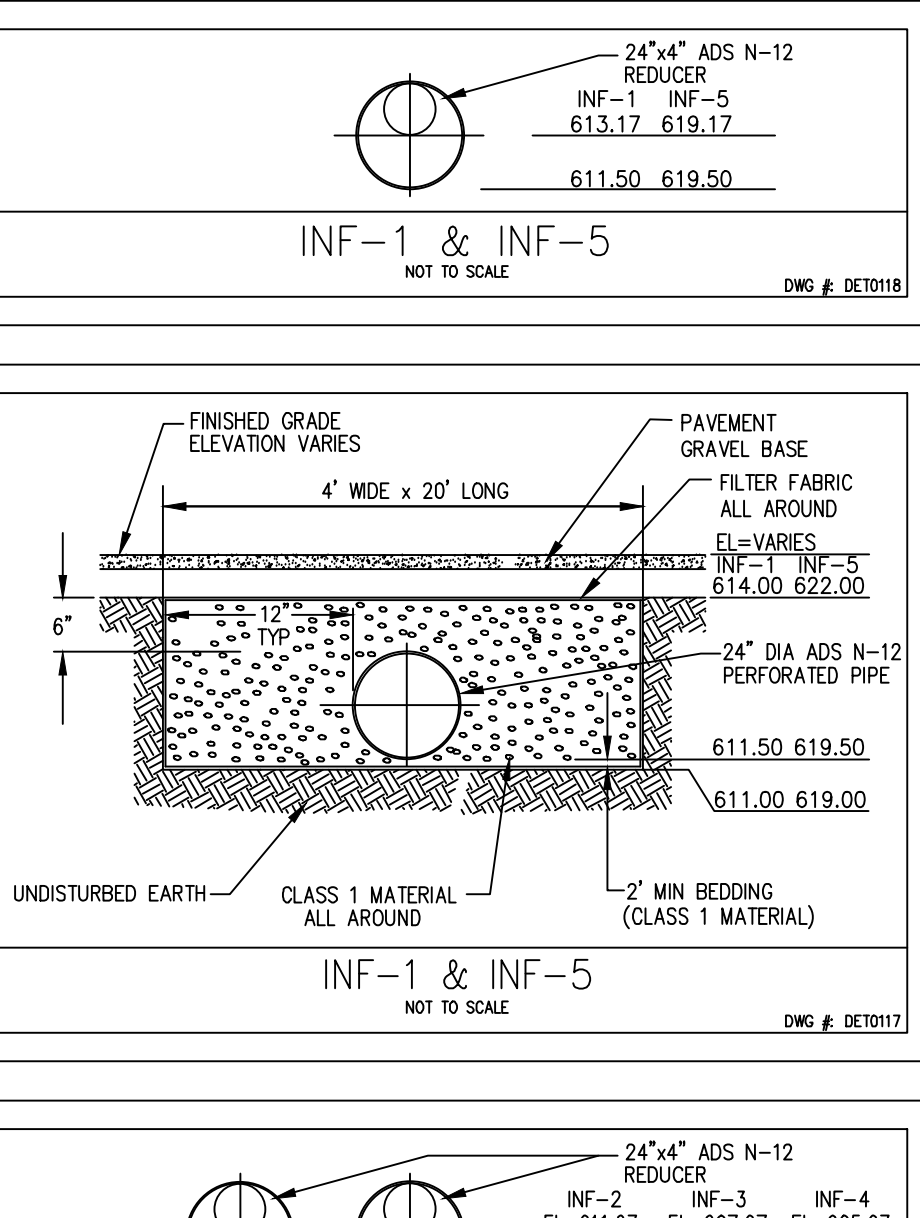
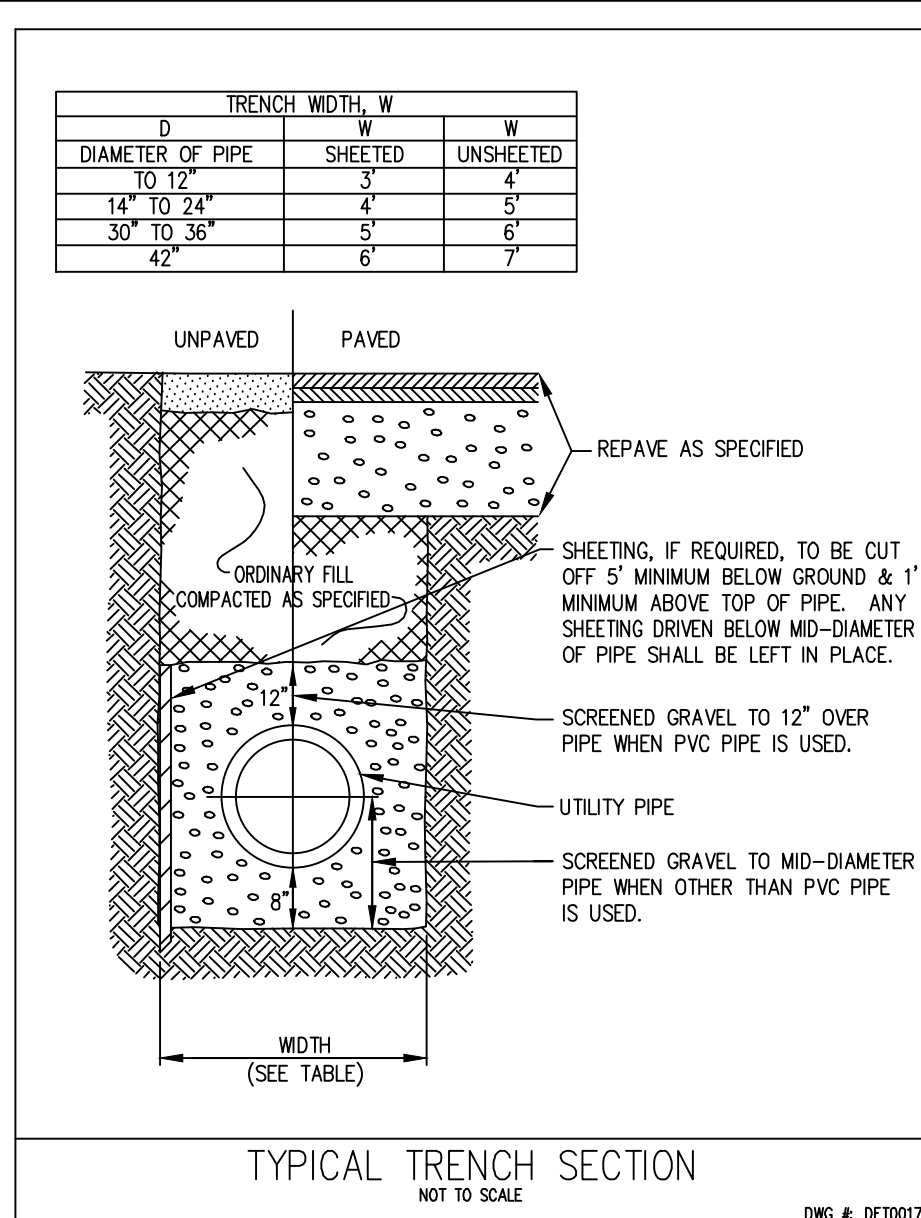
- PERMANENT SLOPE STABILIZATION**
- NOTES
1. BEFORE INSTALLATION, THE SEEDBED SHALL BE SHALL BE INSPECTED TO ENSURE IT HAS BEEN PROPERLY COMPACTED AND FINELY GRADED TO REMOVE ANY EXISTING RILLS. IT SHALL BE FREE OF OBSTRUCTIONS, SUCH AS TREE ROOTS, PROJECTIONS SUCH AS STONES, AND OTHER FOREIGN OBJECTS.
  2. GRASS SEED SHALL MATCH SOIL CONDITIONS TO ALLOW FOR MAXIMUM GERMINATION, DENSE VEGETATION, AND A STRUCTURAL ROOT SYSTEM.
  3. CONTRACTOR SHALL PROCEED WHEN SATISFACTORY CONDITIONS ARE PRESENT.
  4. AFTER THE AREA HAS BEEN PROPERLY SHAPED, SEED, FERTILIZED, AND COMPACTED, LOCATE THE START OF THE ROLL, MAKING SURE THE ROLL IS FACING TOWARD THE AREA TO BE COVERED, AND THEN ROLL OUT THE BLANKET. BLANKETS SHALL BE ROLLED OUT FLAT, EVEN, AND SMOOTH WITH-OUT STRETCHING THE MATERIAL THEN ANCHORED TO THE SUBGRADE.
  5. IT IS RECOMMENDED THAT THE BLANKETS BE INSTALLED IN THE SAME DIRECTION AS THE WATER FLOW. HOWEVER ON SHORT SLOPES IT MAY BE MORE PRACTICAL TO INSTALL HORIZONTALLY ACROSS THE WIDTH OF THE APPLICATION.
  6. IF MORE THAN ONE WIDTH IS REQUIRED, ABOUT THE EDGES TOGETHER AND SECURE THE BLANKETS WITH A COMMON ROW OF BIODEGRADABLE STAPLES, STEEL STAPLES, OR STAKES.
  7. OVERLAPPING OF CURLEX EXCELSIOR BLANKETS IS NOT REQUIRED OR RECOMMENDED. AN EXCEPTION IS WATERWAY SLOPES.



12/16/21

1	12/16/21	REVISE TURNAROUND
REV. NO.	DATE	REVISION
TITLE:		
DEFINITIVE SITE PLAN		
CLUSTER GROUP OF SINGLE FAMILY DWELLINGS		
AT		
47R FOURTH STREET		
WORCESTER, MASSACHUSETTS 01602		
PREPARED FOR:		
DANIEL YARNIE		
37 WEST MILLBURY ROAD		
SUTTON, MASSACHUSETTS 01590		
PROPERTY OWNER:		
DANIEL YARNIE		
37 WEST MILLBURY ROAD		
SUTTON, MASSACHUSETTS 01590		
PREPARED BY:		
J.M. GRENIER ASSOCIATES INC.		
325 DONALD LYNCH BOULEVARD SUITE 100		
MARLBOROUGH, MASSACHUSETTS 01752		
TELE NO.: (508) 845-2500		
SCALE:		DATE:
AS SHOWN		OCTOBER 22, 2021
DETAIL PLAN 1/2		
SHEET NO.:		PROJECT NO.:
SHEET 10 OF 11		G-636





1	12/16/21	REVISE TURNAROUND
REV. NO.	DATE	REVISION
TITLE:		
DEFINITIVE SITE PLAN CLUSTER GROUP OF SINGLE FAMILY DWELLINGS AT 47R FOURTH STREET WORCESTER, MASSACHUSETTS 01602		
PREPARED FOR:		
DANIEL YARNIE 37 WEST MILLBURY ROAD SUTTON, MASSACHUSETTS 01590		
PROPERTY OWNER:		
DANIEL YARNIE 37 WEST MILLBURY ROAD SUTTON, MASSACHUSETTS 01590		
PREPARED BY:		
J.M. GRENIER ASSOCIATES INC. 325 DONALD LYNCH BOULEVARD SUITE 100 MARLBOROUGH, MASSACHUSETTS 01752		
TELE NO.: (508) 845-2500		
SCALE:		DATE:
AS SHOWN		OCTOBER 22, 2021
DETAIL PLAN 2/2		
SHEET NO.:		PROJECT NO.:
SHEET 11 OF 11		G-636